

# Development Standards Handbook

For

## VILLAGIO DELLA MONTAGNA



**June 30, 2004**

**Prepared By:**



**WOOD RODGERS**

ENGINEERING PLANNING MAPPING SURVEYING

6774 South McCarran Blvd Tel: 775.823.4068

Reno, NV 89509 Fax: 775.823.4066

EXPLANATION: *Matter in italics is new; Matter in brackets [] is material to be omitted.*

BILL NO. 6162

ORDINANCE NO. 5619

AN ORDINANCE TO AMEND TITLE 18, CHAPTER 18.06 OF THE RENO MUNICIPAL CODE, ENTITLED "ZONING", REZONING A ±44.24 ACRE SITE LOCATED DIRECTLY NORTH AND WEST OF THE CURRENT WEST TERMINUS OF RIDGEVIEW DRIVE FROM SF15 (SINGLE FAMILY RESIDENTIAL - 15,000 FEET) TO SPD (SPECIFIC PLAN DISTRICT); TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.06 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.06.201(b).1095 relating to a ±44.24 acre site located directly north and west of the current west terminus of Ridgeview Drive and more particularly described in the attached "Exhibit A" and the standards contained in the SPD (Specific Plan District) handbook as contained in "Exhibit B" and rezoning said property from SF15 (Single Family Residential - 15,000 feet) to SPD (Specific Plan District); the same to read as follows:

*Sec. 18.06.201(b).1095. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. LDC04-00547, thereby changing the use of land indicated therein, relating to a ±44.24 acre site located directly north and west of the current west terminus of Ridgeview Drive, and more particularly described in the attached "Exhibit A" and the standards contained in the SPD (Specific Plan District) handbook as contained in "Exhibit B" and rezoning said property from SF15 (Single Family Residential - 15,000 feet) to SPD (Specific Plan District).*

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 27<sup>th</sup> day of October, 2004, by the following vote of the Council:

AYES: Zadra, Hascheff, Harsh, Sferrazza, Dortch, Aiazzi, Cashell

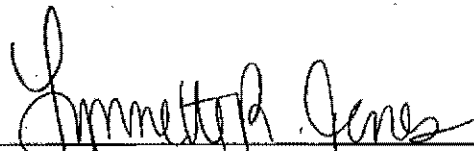
NAYS: None

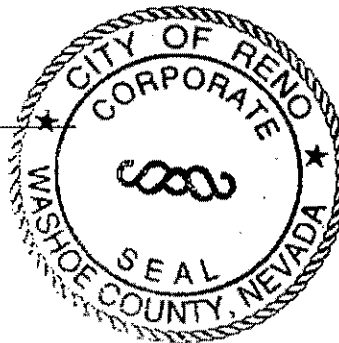
ABSTAIN: None ABSENT: None

APPROVED this 27<sup>th</sup> day of October, 2004.

  
MAYOR OF THE CITY OF RENO

ATTEST:

  
CITY CLERK AND CLERK OF THE CITY  
COUNCIL OF THE CITY OF RENO, NEVADA



EFFECTIVE DATE: October 29, 2004

**EXHIBIT "A"**

**RIDGEVIEW  
DESCRIPTION FOR TENTATIVE MAP PURPOSES**

Situate in the East Half (E1/2) of Section Thirty Four (34), Township Nineteen (19) North, Range Nineteen (19) East, Mount Diablo Meridian, Washoe County, State of Nevada, being further describes as:

**BEGINNING** at the most Easterly corner of Parcel 1 of Parcel Map No. 2060, File No. 1119089, Official Records of Washoe County, Nevada.

**THENCE** along the Easterly line of said Parcel 1, South 00°18'37" West, 985.00 feet;

**THENCE**, South 24°42'40" West, 1219.50 feet to the Southeast corner of said Parcel 1;

**THENCE**, departing said Southeast corner and along the Southerly line of said Parcel 1, North 69°59'54" West, 800.00 feet;

**THENCE**, North 59°59'54" West, 155.48 feet to the Southwest corner of said Parcel 1;

**THENCE**, departing said Southerly line and Southwest corner, North 00°00'06" East, 902.87 feet along the Westerly line of said Parcel 1;

**THENCE**, departing said Westerly line, South 89°58'25" East, 145.89 to the beginning of a non-tangent curve;

**THENCE**, from a radial line which bears South 75°37'15" West, a distance of 148.02 feet along the arc of a 102.50 foot radius curve to the left, through a central angle of 82°44'22";

**THENCE**, South 07°07'07" East, 48.17 feet to the beginning of a non-tangent curve;

**THENCE**, from a radial line which bears North 03°31'01" West, a distance of 40.59 feet along the arc of a 334.00 foot radius curve to the right, through a central angle of 06°57'49";

**THENCE**, North 00°00'47" East, 6.48 feet to the beginning of a non-tangent curve;

**THENCE**, from a radial line which bears South 34°06'29" East, a distance of 36.08 feet along the arc of a 130.00 foot radius curve to the left, through a central angle of 15°54'06";

**THENCE**, North 58°13'22" East, 18.77 feet to the beginning of a non-tangent curve;

**THENCE**, from a radial line which bears South 13°32'41" East, a distance of 146.19 feet along the arc of a 55.00 foot radius curve to the left, through a central angle of 152°17'31" to the beginning of a broken back curve;

**THENCE**, from a radial line which bears South 88°45'11" East, a distance of 123.77 feet along the arc of a 102.50 foot radius curve to the left, through a central angle of 69°11'00" West;

**THENCE**, North 00°01'35" East, 99.35 feet;

**THENCE**, South 89°58'25" East, 382.11 feet;

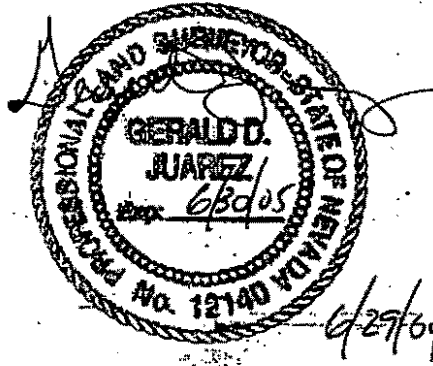
**THENCE**, North 39°08'46" East, 389.98 feet,

**THENCE**, North 00°19'39" East, 319.21 feet to the Northeasterly-West corner of the aforementioned Parcel 1;

THENCE, South 89°41'23" East, 487.65 along the Northerly line of said Parcel 1 to the POINT OF BEGINNING of this description.

Containing 43.21 acres of land, more or less.

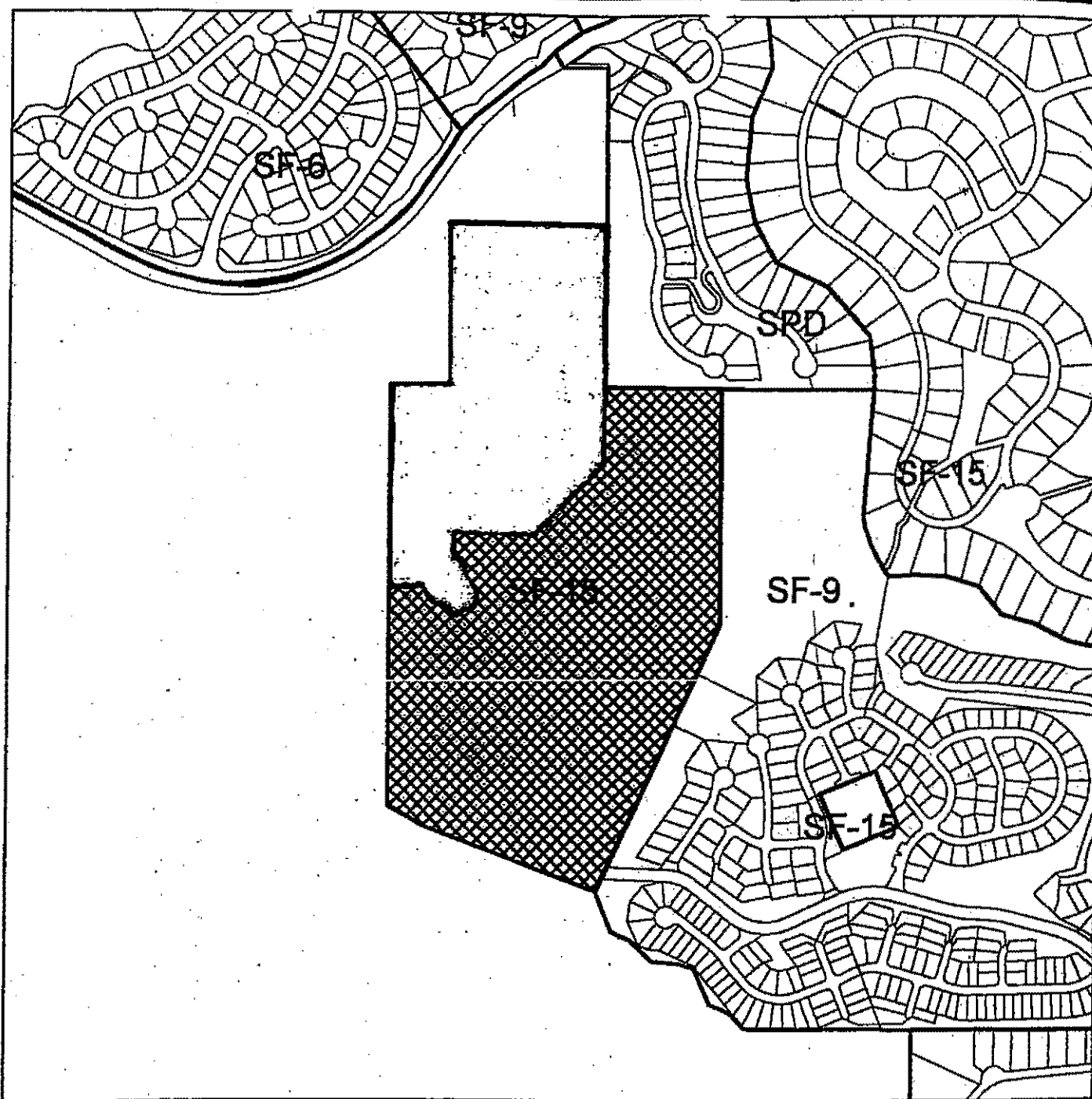
Prepared by:  
Wood Rodgers, Inc.  
6774 S. McCarran Blvd  
Reno, NV 89509






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Gerald D. Juarez  
P.L.S. 12140

GDJ



**LDC04-00547**  
**Villagio Della Montagna**

-  Subject Site
-  City of Reno Zoning
-  City of Reno Boundary



0 500 Feet

Map Produced: August 4, 2004



**Community Development  
 Department**

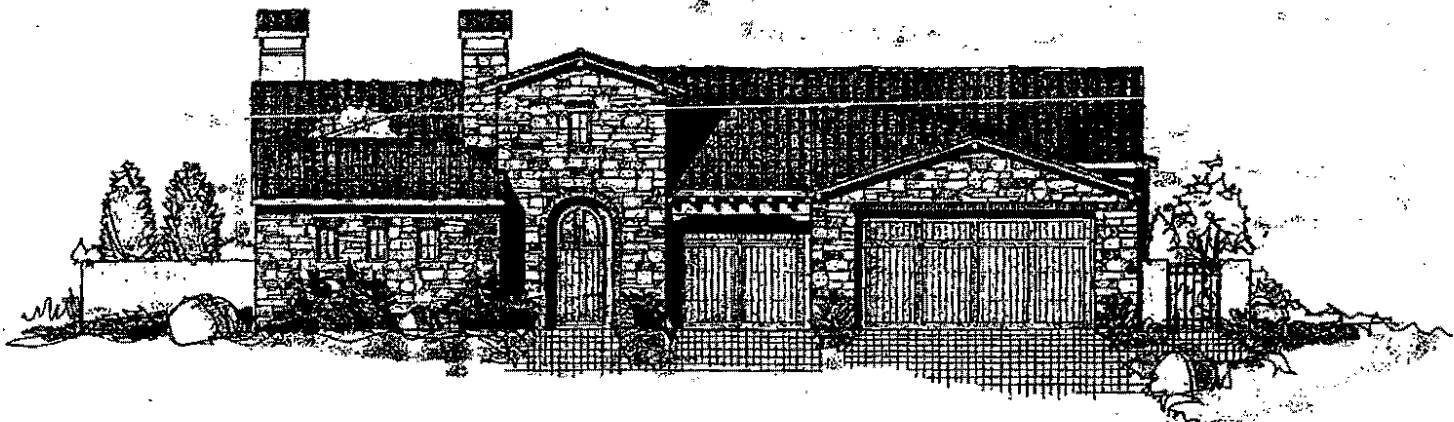
400 Washoe Street Phone: 334-3263  
 P.O. Box 1902 Fax: 334-2043  
 Reno, NV 89502 Internet: [ci.reno.nv.us](http://ci.reno.nv.us)

JL:typrojct/Planning base maps

EXHIBIT "B"  
Development Standards Handbook

For

VILLAGIO DELLA MONTAGNA



June 30, 2004

Prepared By:



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## I. PROJECT OVERVIEW:

### 1. Project Location

The project is located south of McCarran Boulevard and west of Plumas Street and Lake Stanley, adjacent to Lakeridge Springs Unit 5 at the current terminus of Ridgeview Drive. Please reference the Vicinity Map in *Exhibit A*. The subject property abuts the existing Belsera Specific Plan District to the northeast, and is surrounded by vacant land within Washoe County to the north, west and south. The project site is approximately 43.2± acres of a 67.64± acre parcel.

### 2. Current Property Conditions

The site has varied topography with both relatively steep and flat areas featuring a number of scenic vistas of the city, valley, and mountains. Ridgeview Drive is currently stubbed to the site from the existing Lakeridge Springs development. Ridgeview Drive is a typical public street, including curb, gutter, sidewalk, and paving along with public utilities. This includes a paved roadway, concrete curb and gutter, and concrete sidewalk.

### 3. Statement of Purpose and Plan

Throughout many of the mountainous regions of Europe, the countryside is home to numerous quaint villages. Many of these villages have their own distinct personality, which in some cases may include a wall around the village. With Villagio della Montagna, we intend to capitalize on the uniqueness of this site to create a project unlike any other in the Truckee Meadows. Villagio della Montagna or “Village of the Mountains” will offer a secluded setting, while offering stunning views of the city below as well as the surrounding mountains and valleys. A series of walls will extend along Ridgeview Drive approximately ¼ mile to the entry to the project. A water feature will surround the entry signage, announcing Villagio della Montagna as something different. The walls and privacy gates set it apart, providing mystique and seclusion. Upon passing through the gates, access is gained through the Piazza de Villagio, a central plaza enhanced with fountains, formally landscaped medians, and surrounded with lush common area. The Piazza de Villagio takes one through the heart of the village to a series of curvilinear country roadways providing access to the homesites. All of the roadways have been laid out to run with the contours of the land to minimize grading and maximize the view potential, which is substantial. To announce the views that the residents will enjoy, all the roadways are coined “Vistas” or views in Italian. The street names tell the story: Vista della Citta’ (View of the City), Vista Della Valle (View of the Valley), Vista d’Occhio (View as Far as the Eye Can See).

In order to preserve the views while minimizing the grading as much as possible, all the homesites are single loaded walkouts. Rich, traditional Tuscan architecture exemplifies the design theme, incorporating abundant stone, wood, wrought iron and

earthen tile elements to provide the “country village” atmosphere. Formal landscaping lends a degree of sophistication. Large walled-in entry courtyards front each home, providing additional privacy while creating substantial opportunity for protected outdoor living spaces which can be individualized through the use of fountains, reflection pools and cooking and dining areas. Roof pitches are relatively flat (4:12) to preserve the views and are treated with “S” tiles of varied earthen colors to create the “earthy” Tuscan feel. The floor plans are designed with practical living in mind, situating Kitchen and Dining areas near the protected courtyards with Grand Rooms and Master Bedrooms oriented toward the views.

Five (5) floor plans are proposed (please refer to Exhibit C). Each includes several options for customization. By incorporating three exterior elevations for each plan along with a wide array of color palates and exterior detail options, Villaggio della Montagna will be a customized living experience.

The purpose of the SPD as it relates to the project is to create unique zoning and regulatory requirements for the village atmosphere, which are not available through current conventional zoning designations. To move forward with the project as currently planned, the nearest applicable conventional Zoning Standard would be “SF9”. However, proposed lot sizes are all in excess of 9,800 square feet with an average of 12,138 square feet. The Project proposes slightly larger side and front yard setbacks than those typical to SF9, and generally provides less intensity than typical SF9. The SPD process of unique zoning and design standards that are specific to this development has been chosen, which will result in all the project goals being realized.

Included within this SPD Handbook are the selected Tentative Map drawings (Ref. *Exhibit B*). In addition, there are various details and standards for components of the development. Those items being landscape architecture, house architecture, fencing standards, setback standards, and street standards. This SPD Handbook establishes the specific criteria for implementation of the standards.

#### **4. Open Space & Common Elements.**

Of the total 43.2± acres proposed to be developed, 11.9 acres have been designated as undisturbed open space on the Site Plan (see *Exhibit B*). Nearly 28% of the total property is to remain as open space and undisturbed. In addition to the undisturbed open space, approximately 7.3 acres will be formally landscaped with extensive plantings, rock work and water features, and will be held as common area. With the undisturbed open space and the landscaped common areas, open space will comprise nearly 45% of project. The landscaped common areas have been concentrated through the central core of the project to set the theme and around the perimeter of the project to buffer existing residents from this proposed development. All open space/common element improvements will be constructed by the developer. The open space/common element improvements will be owned and maintained by the Homeowners’ Association.

Villagio della Montagna is to be a gated community with private streets. Please see *Exhibit D* for the gate and entry concept. The streets will be owned and maintained by the Home Owner's Association.

Landscaping will run throughout the common area open space. The landscaping plan and standards can be found in *Exhibit E*.

### **5. Project Phasing**

The project as proposed will be developed in three (3) construction phases, with three (3) Final Maps. A phasing plan can be found in *Exhibit H*. Improvements associated with the project will be constructed with each phase of development. All public improvements shall be bonded or security posted in accordance with the City of Reno Improvement Agreement and all exhibits thereof.

## II. DEVELOPMENT STANDARDS:

The following section describes the standards which apply to the Villagio della Montagna Development. The standards as identified in this section are minimum standards or requirements which must be met. Should a conflict unknowingly exist within the SPD Handbook, the interpretation and/or governing criteria shall be determined by the City of Reno Planning Administrator (herein referred to as "The Administrator").

The SPD Handbook standards and the CC&R's will permit a deviation of less than 10% to the lot dimensions, setbacks, and structure height upon proof to The Administrator that the house, as submitted, will present a satisfactory and quality appearance from the street consistent with other houses in the neighborhood.

### 1. Lot Standards

The minimum development standards and requirements for the Project shall be per Table 1.

*Table 1  
Development Standards*

<i>Villagio della Montagna SPD</i>	
Minimum Lot Size (square feet, sf)	9,800 sf
Minimum Average Lot width (feet, ft.)	80 ft.
Minimum Cul-de-sac frontage (feet, ft.)	40 ft.
Minimum Front Yard Setback (feet, ft.)	
Dwelling Unit (Living Space):	12 ft.
Side Load Garage:	12 ft.
Front Entry Garage:	24 ft.
Minimum Sideyard Setback (feet, ft.) (Minimum 18' Between Structures)	10/8 ft.
Minimum Rear Yard Setback (feet, ft.)	20 ft.
Maximum Building Height (feet, ft.)	35 ft.
Maximum Stories	2.5 stories

Standards for accessory buildings shall be subject to Section 18.06 of the Reno Municipal Code for (Single-Family-9,000) zoning designation, as amended.

## 2. Architectural Standards

All homes in the Project will be subject to strict architectural guidelines. These guidelines are set forth below and will also be contained in the CC&R's for the Project in order to provide an additional mechanism for enforcement. Interpretation of these guidelines, and permissible variances, will be the responsibility of The Administrator. A further description of the architectural guidelines is provided below:

House Sizes:	Minimum 2,500 sf
Roof Pitch:	No less than "4-in-12"
Roof Material:	50 year concrete "S" tile
Roof Shapes:	Hips and Gables
Exterior Wall Material:	Stucco w/Stone and Tile detailing
Driveways:	-Constructed of decorative pavers -Connected from back of driveway approach to garage.
Window Trim:	All windows on all sides to receive four-sided wood trim or raised stucco bands.
Ornamental Material:	Decorative wrought iron, wooden shutters, trellises, decorative tiles
Garage Doors:	All garage doors to be multi-panel wood or metal overhead track doors
Front Elevation Feature Materials:	Decorative wrought iron, wooden shutters, trellises, decorative tiles, courtyards
Eave & Rake Trim:	Minimum of "2X6" solid stock wood material
Architectural Styles:	Tuscan

All exterior colors on the homes will be subject to approval by The Administrator. Home colors shall be submitted to The Administrator for prior approval, or may be

selected from a pre-approved color palette. The enforcement shall be as set forth in the CC&R's.

### **3. Fencing & Screening Standards**

The Project will utilize two (2) different types of fencing. The first type is defined as "Privacy Fencing" and shall be utilized on the sideyard property lines. The second type of fencing is defined as "View Fencing" and shall be used along the rear property lines. Fencing details can be found in *Exhibit F*.

Privacy Fencing shall be used for interior side yard fencing between houses. View fencing will start at 15' feet beyond the rear building envelope on the side lot line and continue to the back of the lot. View fencing will also be across the back of the lot. This fencing scheme is designed to minimize interference with the views out of the rear of each lot while providing the desired level of privacy. Typical fencing locations are shown on *Exhibit F* and will be reflected on each final map.

### **4. Landscape Standards**

Landscaping is seen as an integral part of this development. Common area landscaping and decorative elements such as water features and entry monuments are intended to provide a distinctive feel to this development. As can be seen by the conceptual landscape and common area plans in *Exhibit E*, plantings are proposed to be extensive. All plant materials will, at a minimum, conform to City of Reno standards. Final landscape plans will be provided as each phase of the subdivision is taken through the final map/building permit process.

### **5. Signage Standards**

The project's signage shall consist of an entry monument, decorative entry gate, and decorative street signs. Signs will be designed of materials intended to complement the landscaping and the country feel of the community, (i.e. wood, stone, and/or iron). Signs shall conform to the concepts established in *Exhibit D* of this SPD Handbook.

Interior illumination of said signs is strictly prohibited. Indirect illumination (lighting) of the sign shall be permissible if the indirect lighting does not cross property lines or create a nuisance to adjacent properties in the general area.

All property sales signs, temporary signs, or other signage other than the permitted monument signs, shall be in conformance with the City of Reno Zoning Ordinance Section 18.06.900 as amended. The project shall comply with all single family (SF) standards and restrictions of this section.

## 6. Project Lighting Standards

Street lighting both on the exterior of the project and the interior of the project shall be decorative in nature. The light standard or fixture shall be per *Exhibit I* of this SPD Handbook. Street lights will be placed to illuminate the projects street intersections and pedestrian-vehicular interfaces to provide for public safety.

The proposed light fixture has been selected from the Sierra Pacific Power Company's (SPPCo) Decorative Street Lighting Program. This means that the light fixtures will be purchased by the Owner/Developer at the time of the service agreement contract for the Project's Construction. Once the fixtures are installed at the completion of the Project construction, the maintenance of the lights shall be the responsibility of SPPCo. The monthly per-street-light charge shall be assessed to the Home Owners Association.

Should the selected light fixture unit selected become unavailable or discontinued at the time of construction for the project, the Owner/Developer shall select a new fixture which is deemed substantially similar to *Exhibit I*. The determination of substantial conformance shall be made by the Administrator.

The project will also include decorative lighting in the formally landscaped common areas.

## 7. Pedestrian Circulation Standards

Four different street sections are proposed for this project. Roadway sections can be found in *Exhibit G*. With each street section a four foot (4') wide concrete sidewalk adjacent to back of curb is proposed on at least one side of the street. A sidewalk is to be present on all the streets within the project. A sidewalk will also be extended from the end of existing Ridgeview Drive, which was constructed with Lakeridge Springs, to the Villagio della Montagna project. Pedestrian ramps will be included as necessary to provide accessible routes throughout the project.

### **III. PUBLIC INFRASTRUCTURE & FACILITIES:**

The following section describes the public sanitary sewer, storm drain, and private street infrastructure requirements for Villagio della Montagna. It should be noted that not all proposed infrastructure components are public. The Homeowner's Association will be required to maintain the private roads, landscaping improvements, and other common elements such as the entry gate, monumentation, and common area fencing. Sanitary sewer and storm drainage improvements will be public and maintained by the City of Reno. All utilities (i.e. natural gas, water, electric, telephone or cable television) shall be provided by the purveyor of each utility or their successors or assigns.

All public improvements shall be designed, constructed, tested and inspected per the City of Reno Public Works Design Manual, latest edition. Testing and inspection shall be per Chapter VI of said manual.

All public improvements shall be "bonded" or secured in accordance with Appendix D of the City of Reno Public Works Design Manual.

#### **1. Sanitary Sewer Service**

The project's sanitary sewer service provider shall be the City of Reno. Currently, public sanitary sewer exists in Ridgeview Drive, and is stubbed to the subject site. All sewer flows for the project will go down Ridgeview Drive. From the point of connection to existing sewer, the sewer shall be extended into the development and shall be constructed to the City of Reno Standards for Public Works Construction. The sanitary sewer will be designed to provide gravity sewer service from the lateral of each lot. In some cases, to sewer the lower level of the proposed lots, sewer ejector pumps will be utilized. They will pump the sewage from the lower level of the house to the lateral and into the gravity system. These systems will be evaluated on a house by house basis and built to the satisfaction of the City of Reno Building department.

A 4" (inch) diameter sewer service shall be provided to each lot. Said sewer "stubs" shall extend a minimum of ten feet (10') into each lot. All main line sewer and sanitary sewer manholes are proposed as Public. At completion of the project, said lines and manholes shall be offered for dedication to the City of Reno in accordance with the Standards for Public Works Construction and the City of Reno Subdivision Improvement Agreement.

A detailed sanitary sewerage report prepared by a Nevada Registered Civil Engineer shall be required at the time of the Subdivision Improvement Plans to the City of Reno. Said report shall be in conformance with Section 4 of Chapter IV of the City of Reno Public Works Design Manual, latest edition.



A preliminary sanitary sewerage report has been prepared and is available for review as part of the Tentative Map Submittal package.

## **2. Storm Drainage**

Storm water management for the Project shall be in accordance with Chapter II of the City of Reno Public Works Design Manual. Proposed improvements shall include catch basins and piping for storm water collection on streets, detention ponds to preserve historic flows, and outlet structures to protect natural drainage ways. Flows will be piped to two locations. A majority of the drainage from this site will be collected on the eastern three quarters of the project, detained as necessary and discharged into a natural water course south of the project. Please refer to the preliminary storm drain facilities plan in the Tentative Map package.

A Preliminary Hydrology Report has been prepared in accordance with the City of Reno Tentative Map Requirements. It is available for review in the Tentative Map package. Prior to Final Map recordation for the Project, a detailed report shall be prepared by a registered Nevada Civil Engineer in accordance with said Chapter II of the City of Reno Public Works Design Manual.

At completion of the project, all inlets, laterals, mainline and manholes shall be offered for dedication to the City of Reno in accordance with the Standards for Public Works Construction and the City of Reno Subdivision Improvement Agreement.

## **3. Street Improvements**

There are four different street sections proposed for this project. How the street sections are distributed throughout the project is shown on the Site Plan provided in *Exhibit B*. All streets will be private, as this is to be a gated community. Street sections can be found in *Exhibit G*.

Piazza del Villagio, the “backbone” street for the community, leads from the gated entrance to the east side of the project and is divided by a 15’ landscape median. It has a right-of-way width of 65 feet and each travel lane is 21 feet wide. In addition to providing a landscape feature, the median will serve to divide the entrance road providing two access points to satisfy the requirements of emergency services. Sidewalk and landscaping will be provided on each side of Piazza del Villagio.

The central cul-de-sac, Vista della Montagna, is to be the only street within the project to have parking, sidewalk, and lots on both sides. It has a right of way width of 46 feet.

Some of the streets within the project have a reduced width to adapt to site topography. This reduced width results in a 38 foot right-of-way with sidewalk and parking on one side only. The curb to curb dimension for these streets is proposed to be 28 feet.

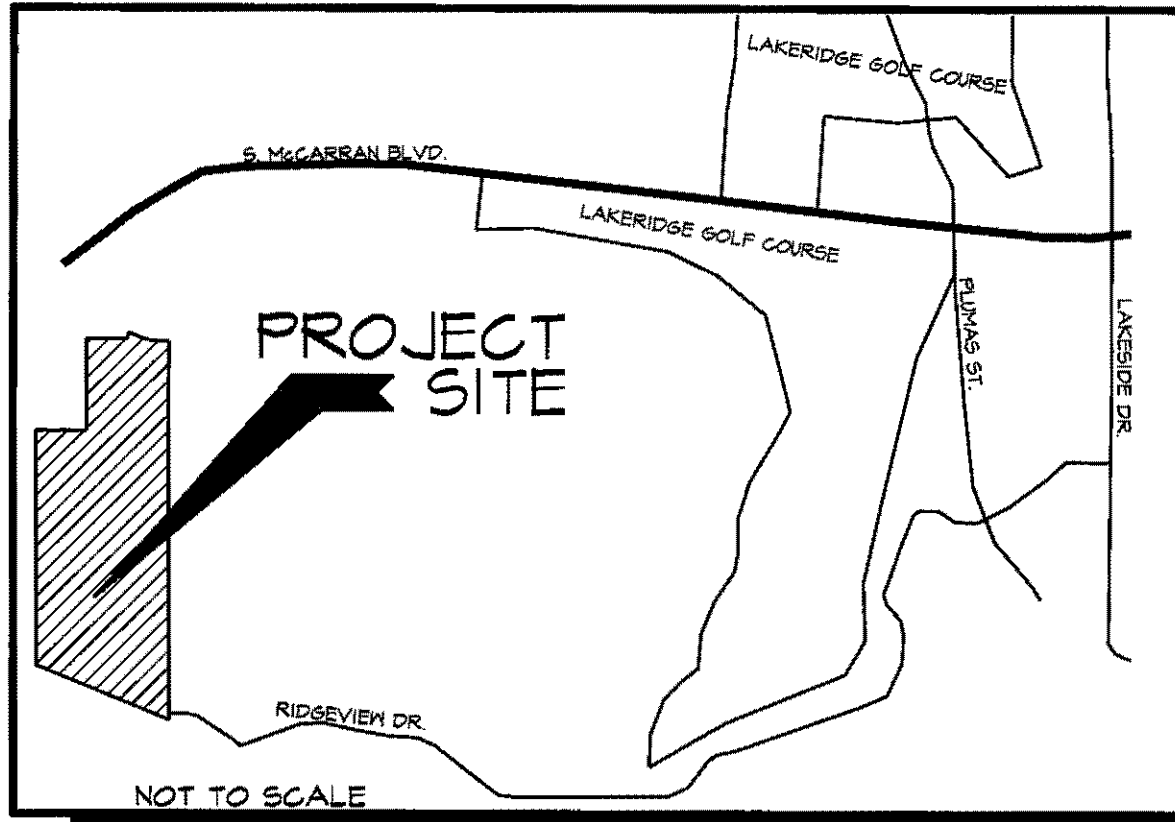
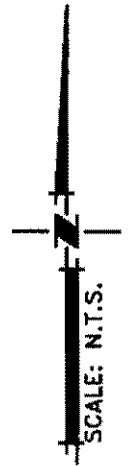
**EXHIBIT A**

# VICINITY MAP VILLAGIO DELLA MONTAGNA

RENO

NEVADA

JUNE, 2004



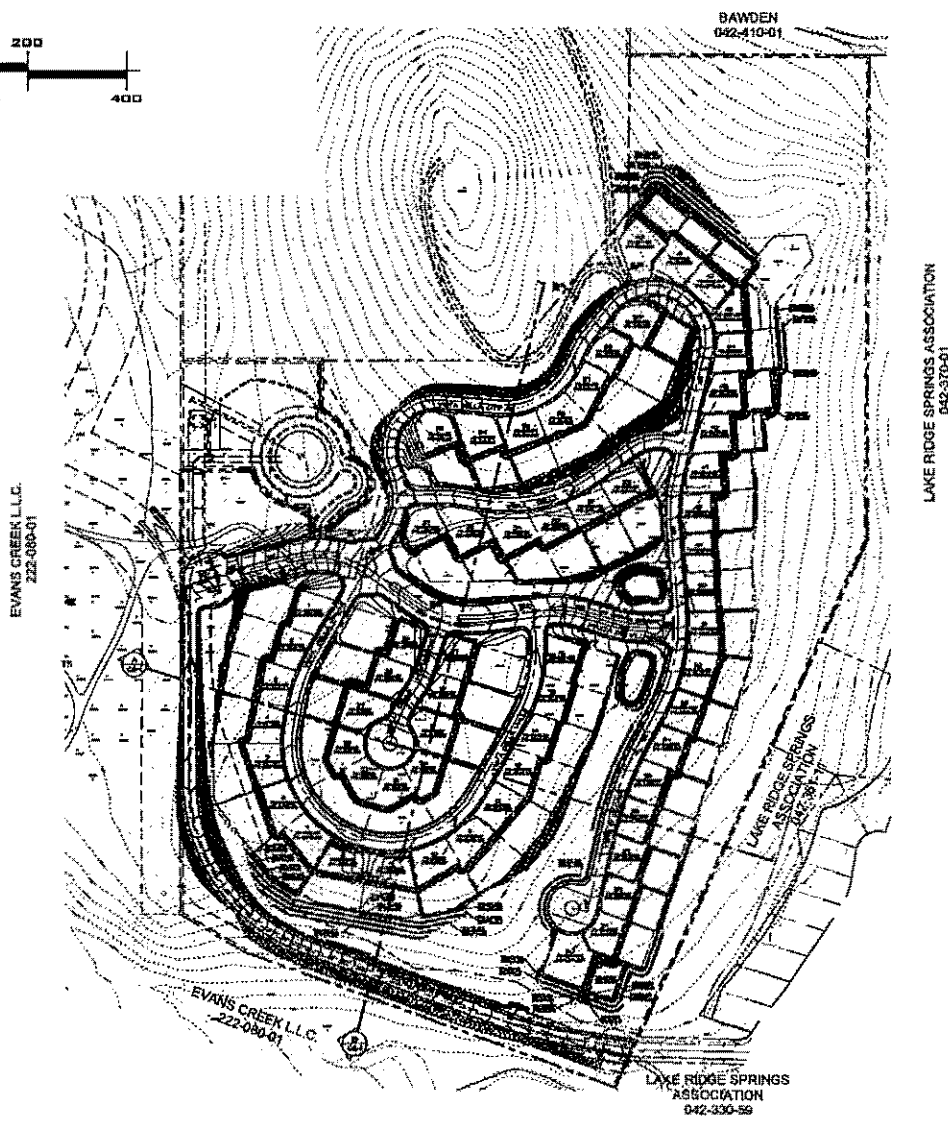
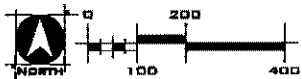
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6774 South McCarran Blvd. Tel 775.823.4088  
Reno, NV. 89509 Fax 775.823.4066

**EXHIBIT B**



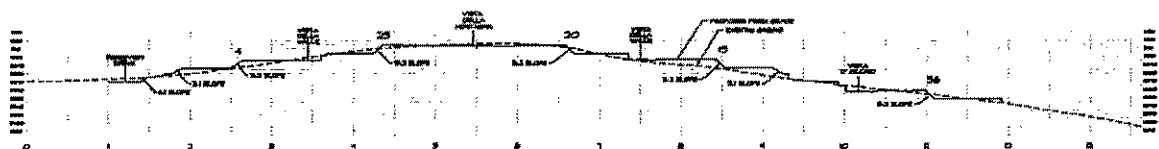




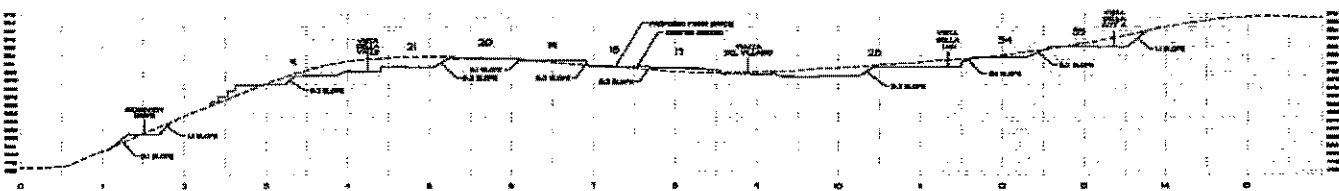
BAWDEN  
042-410-01

LAKE RIDGE SPRINGS ASSOCIATION  
042-370-01

**SITE PLAN**  
SCALE: 1" = 100'



**CROSS SECTION A**  
SCALE: 1" = 100' HORIZ. / 1" = 10' VERT.



**CROSS SECTION B**  
SCALE: 1" = 100' HORIZ. / 1" = 10' VERT.

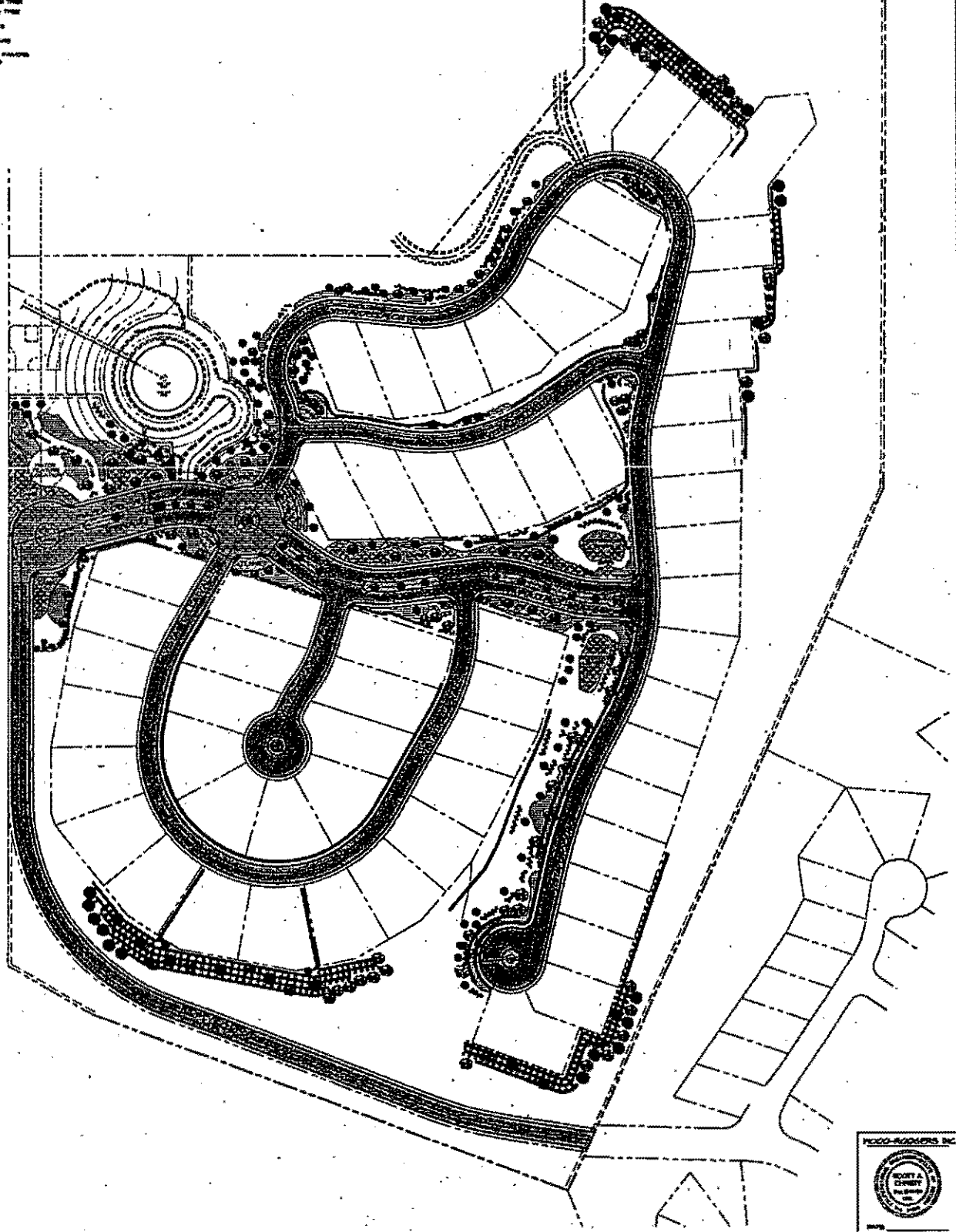


DRAWING <b>CS-1</b>	REVISED BY DATE	TENTATIVE MAP FOR <b>VILLAGIO DELLA MONTAGNA</b>	 <b>WOOD RODGERS</b> CIVIL ENGINEERS, ARCHITECTS & PLANNERS 2015 W. WASHINGTON ST., SUITE 100 LAS VEGAS, NEVADA 89102 PHONE: 702.734.1100 FAX: 702.734.1101 WWW.WOODRODGERS.COM	DATE	SCALE	PROJECT	DATE	SCALE	PROJECT
				DATE	SCALE	PROJECT	DATE	SCALE	PROJECT



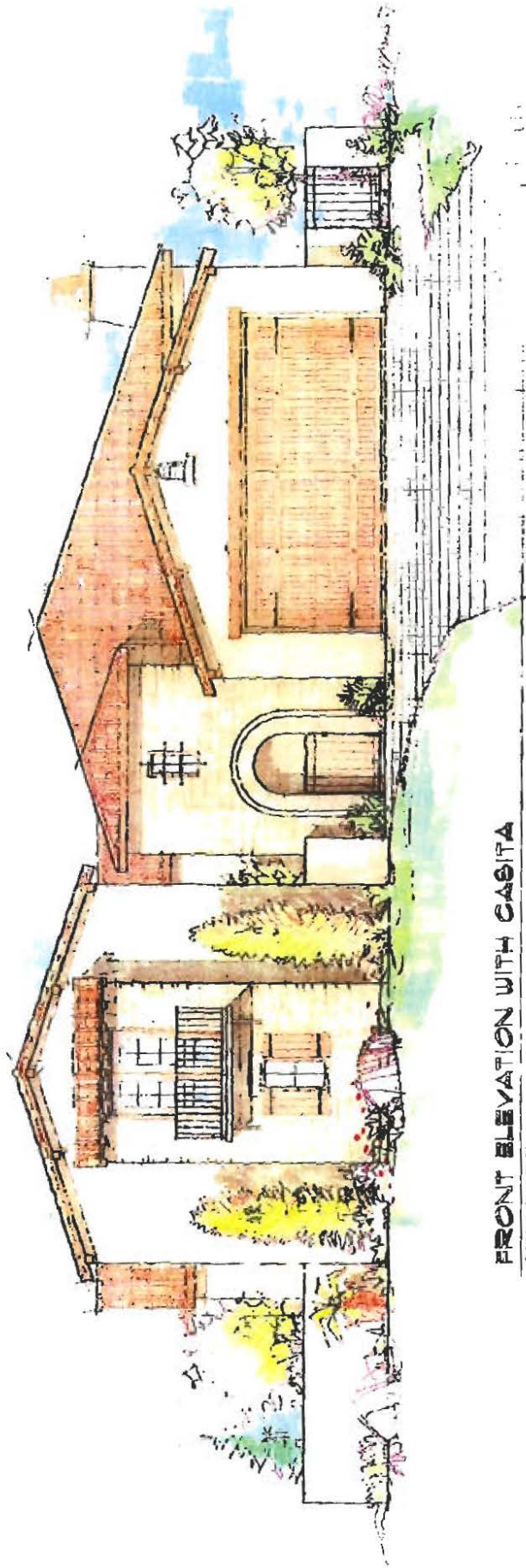
**LANDSCAPING LEGEND**

- Mature Tree
- Deciduous Tree
- Small Tree
- Shrub
- Small Shrub
- Flowering Shrub
- Palm





**EXHIBIT C**



FRONT ELEVATION WITH CASITA

SCALE 1/4"=1'-0"

# RIDGEVIEW VILLAS

PLAN 1 - ELEVATION A

RENO, NEVADA

CARLIN WILLIAMS AM  
ARCHITECT  
1880 MONTCLAIR AVE  
RENO, NEVADA 89505

APRIL 23, 2004









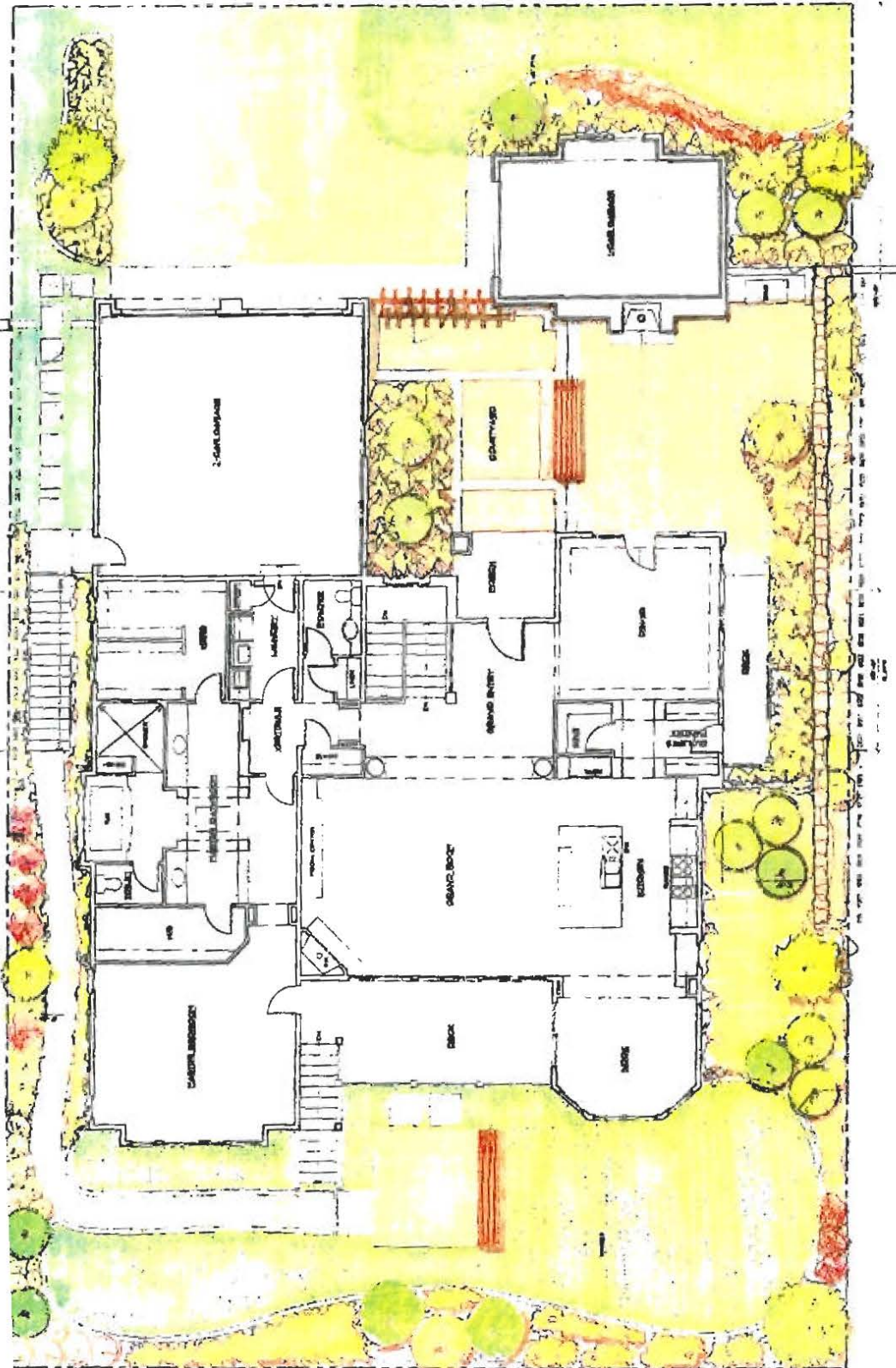
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

**RIDGEVIEW VILLAS**  
PLAN 3 - ELEVATION A  
RENO, NEVADA

CARLIN WILLIAMS AIA  
ARCHITECT  
1800 MONTELEONE AVE  
RENO, NEVADA 89505

MAY 25, 2004





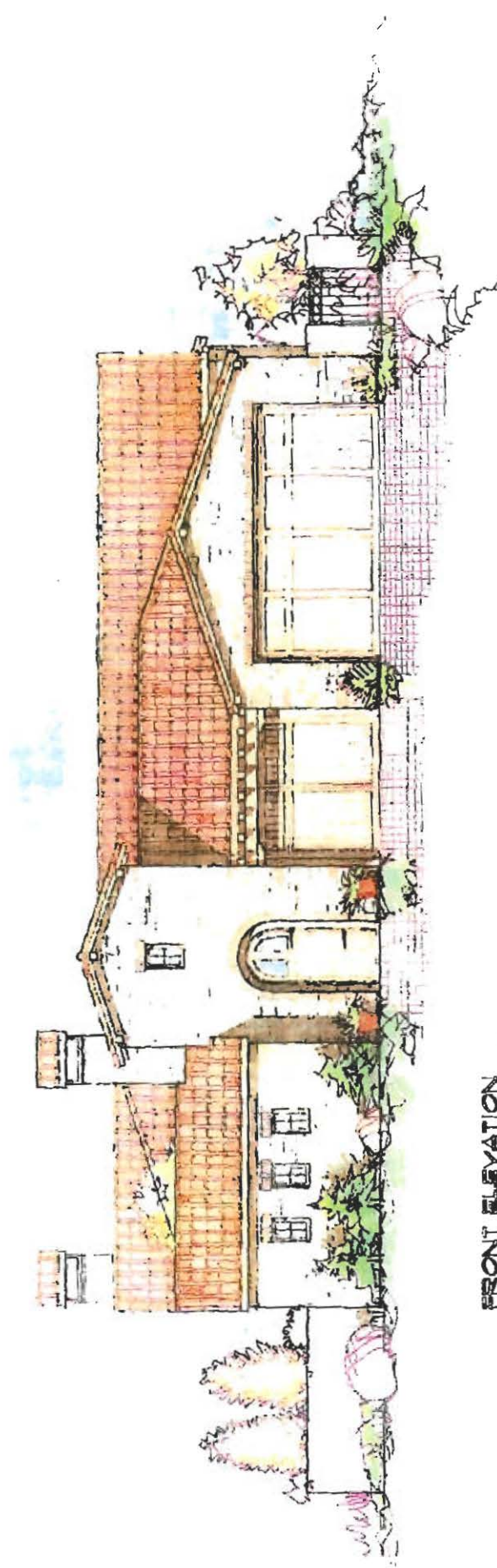
0' 1" = 10' 0"



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**RIDGEVIEW VILLAS**  
RENO, NEVADA  
PLAN 3

DESIGNED BY  
ARCHITECTS  
1000 S. ...  
RENO, NV 89502



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

**RIDGEVIEW VILLAS**  
PLAN 4 - ELEVATION A  
RENO, NEVADA

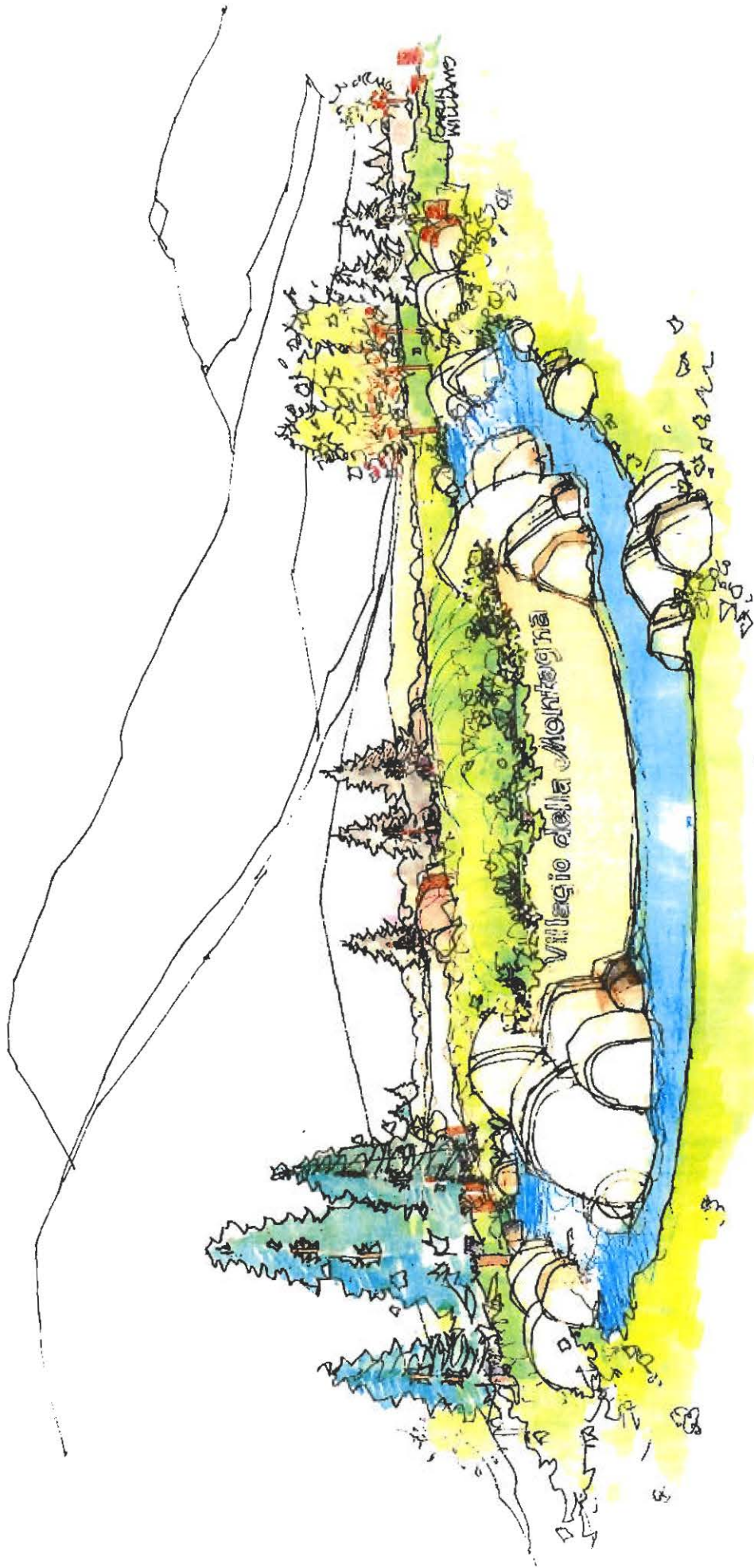
CAROL WILLIAMS, AIA  
ARCHITECT  
RENO, NEVADA 89505  
APRIL 23, 2004







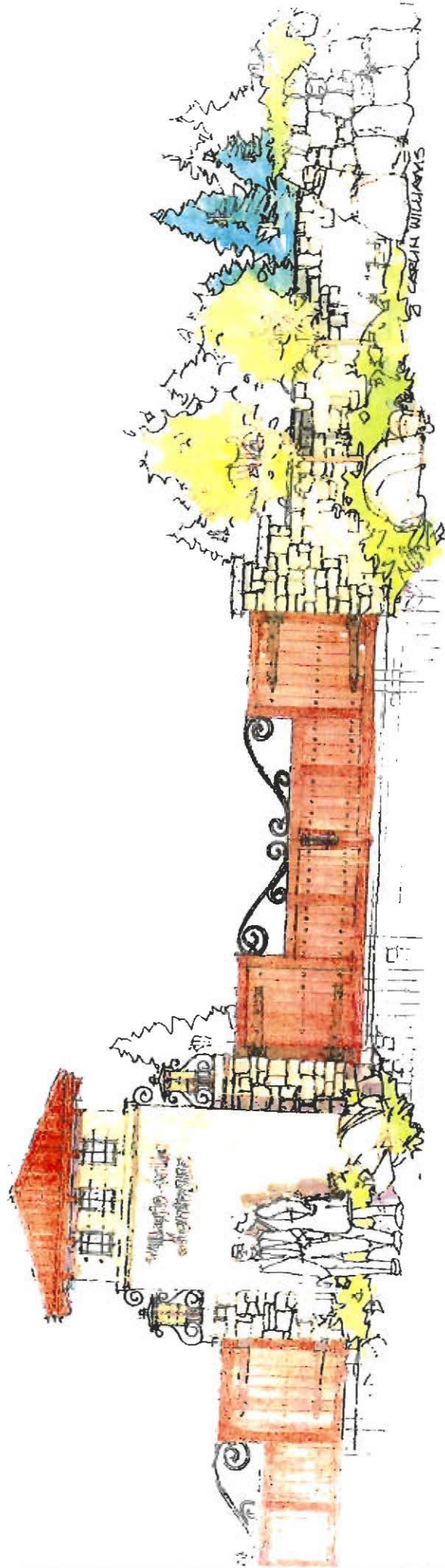
**EXHIBIT D**



Villaggio della Montagna

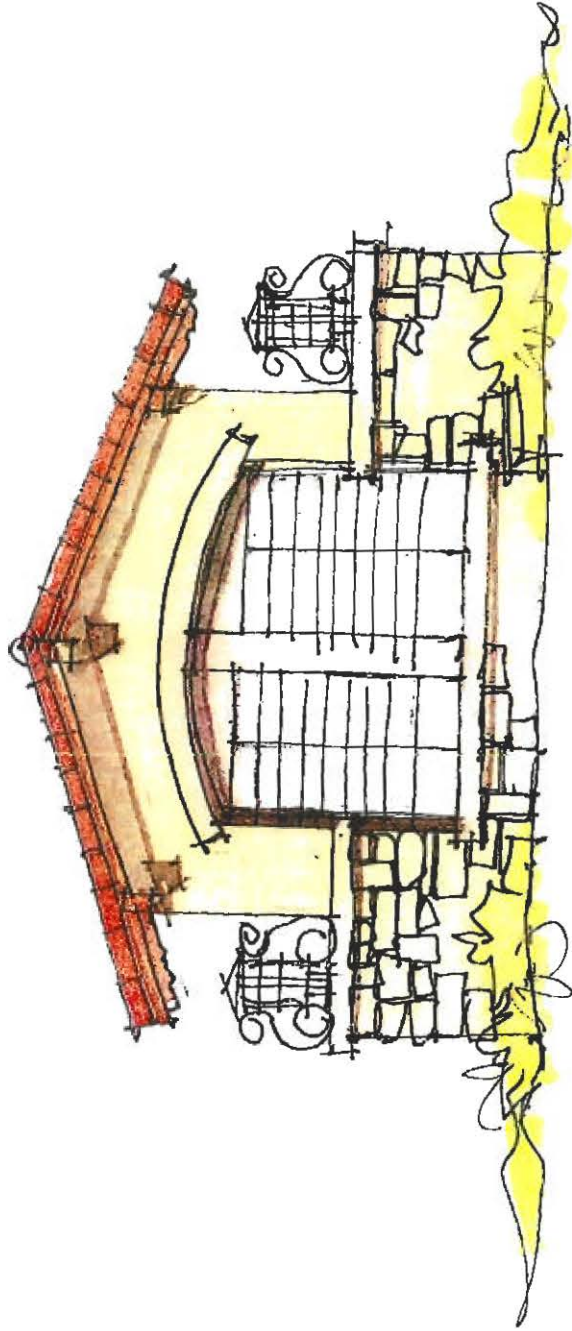
ENTRY MAN CONCEPT

03.22.04



ENTRY GATE CONCEPT

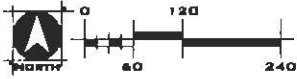
02.22.04



CLUSTER (32) MAILBOX SCHEMES

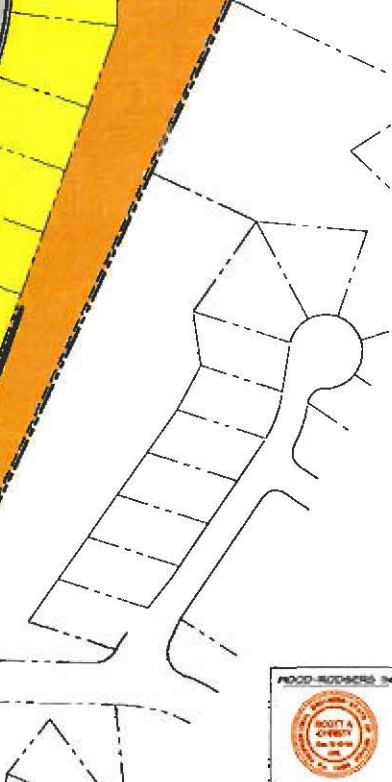
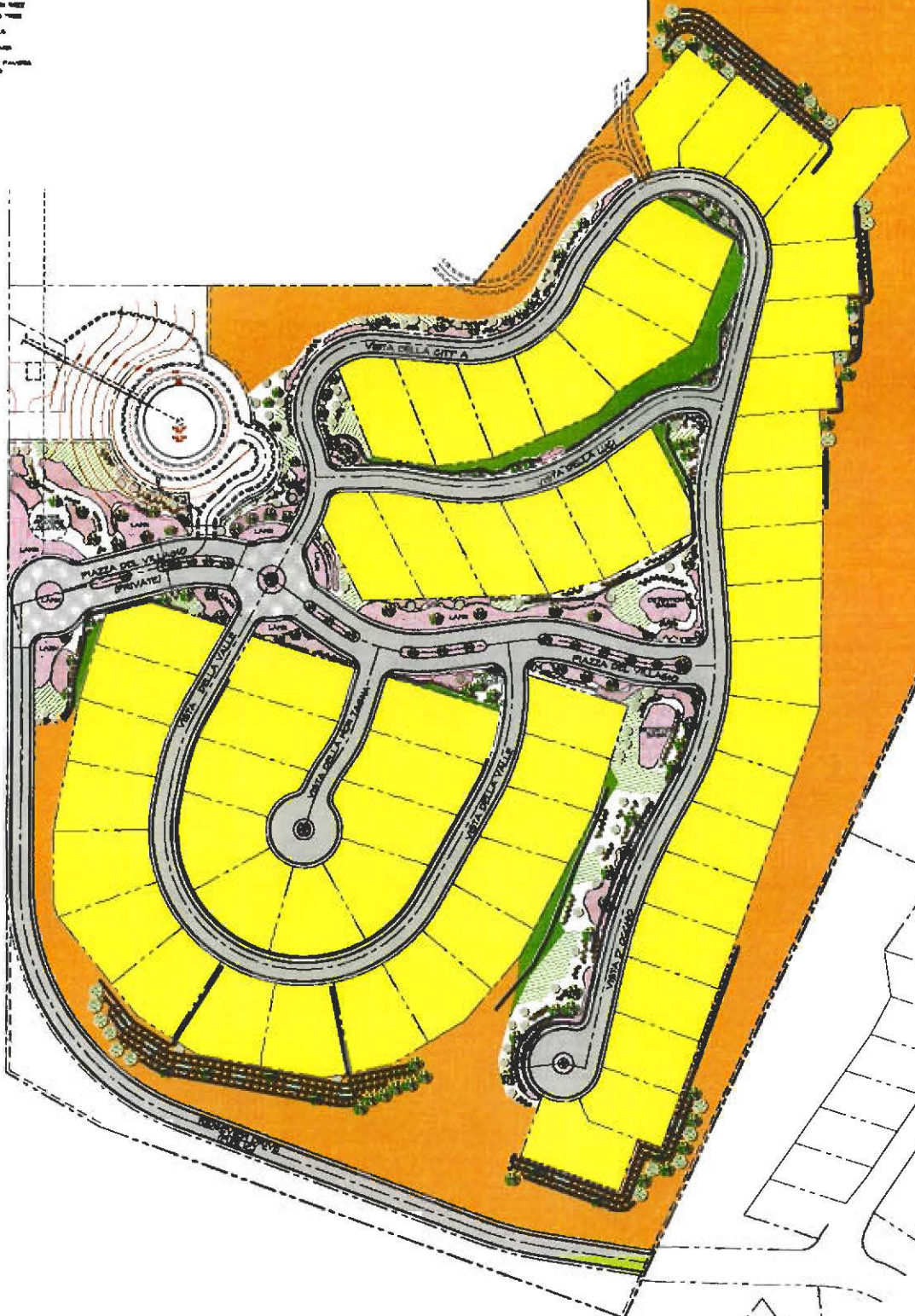
**EXHIBIT E**





**LANDSCAPING LEGEND**

- 2' DIAMETER TREE
- 4' DIAMETER TREE
- 6" PALM
- 12" PALM
- 18" PALM
- 24" PALM
- 30" PALM
- 36" PALM
- 42" PALM
- 48" PALM
- 54" PALM
- 60" PALM
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- 72" PALM
- 78" PALM
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- 96" PALM
- 102" PALM
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**Typical Lot Landscape Standards:**

Plant Material for the typical Lot landscape shall be selected from the Developed/formal Plant Palette. The front yard landscape shall be provided by the builder with the following elements. The sideyard, courtyard and rearyard landscape shall be provided by the Owner.

**Front Yard Landscape**

16 Shrubs @ 5 Gallon size

32 Shrubs @ 1 Gallon size

2 - 1-1/2" minimum caliper trees

1 - Evergreen tree (6' min)

Turf areas in the front yard may be incorporated and maintained as a part of the adjacent common area. This is subject to approval by the Homeowner Association. The inclusion of the front yard turf as a part of the common turf area would provide consistency in turf quality and inclusion into the maintenance program.

## **Landscape Architecture**

### **Landscape**

The primary goals for landscape design are to provide a pleasing and stimulating environment complimentary to the country village nature of the project while introducing a more formal feel through water features, tree and shrub selection, annual and perennial flower selections and decorative lighting.

#### **Design and Conservation Principles:**

Plants should be selected which are especially drought resistant.

Hardscape materials such as stone, brick, gravel, wood and concrete will be used to compliment plant material, enhance the landscape design/architecture and provide suitable walking surfaces. Materials selected which can allow rain to penetrate the soil are favored.

A soil test will be conducted after grading and fill placement to determine the nature of existing soils in planting areas and the results used to determine appropriate soil amendments.

Plantings will be grouped according to similar growing requirements in zones.

Selected plant species should be those that are tolerant of the environment in which they will be grown including salinity, alkalinity, soil/water characteristics, soil physical properties, drainage and proneness to folding, water tables, and any other influential factor. Special emphasis will be given to the selection and trade off between species that are rapid growers, those that are drought tolerant, and species with pleasing aesthetic properties that might be seen in Tuscany.

Plantings are favored for use for climate modifications such as for shade and winter windbreaks.

Planting techniques will be used which trap natural and irrigation water for optimal plant utilization particularly off of sloped turf areas.

Natural and more formal plant groupings of evergreen and deciduous trees, shrubs, and ground cover shall be used to provided aesthetic interest and where screening is necessary.

Planting placement shall respect the need for privacy

Selected plant materials will contain a combination fast, medium and slow growth rates. Fast growth plants adapt quickly, provide quick cover, but have a short life span and sometimes are subject to disease. Medium growth plants take over as the faster growth plants begin to die out, usually after 15-20 years. They are generally more attractive and less subject to disease. Slow growth plants remain small for a long period of time, but eventually become a dominant plant type. They are highly resistant to disease, long-lived and are not subject to the problem of wind breakage.



Plant form should be kept similar to each other in order to provide unity.

## **Irrigation Standards:**

Efficient irrigation systems will be utilized in conjunction with planting zones. Drip irrigation bubblers and low-angles spray types of irrigation equipment will be used wherever feasible.

Provide adequate water to establish and maintain landscape plantings and promote water conservation.

All planting areas are to have automatically controlled irrigation systems.

Irrigation systems will be designed to provide complete and adequate coverage (taking into consideration wind patterns and other disruptive factors) while using water conserving methods.

## **Landscape Zones:**

Landscape zones are suggested which feature a distinct character suitable for the project and functional requirements at Villagio della Montagna. Plant materials suggested for each zone have similar water and light requirements. Specific species suggested for the individual zones are suggested in the Plant Pallet.

### **Developed/Ornamental Landscape Zone**

The Developed/formal landscape will occur as focal points such as project entry, turnabout islands, medians, common areas and within residential front yards for a lush, colorful, and high density appearance. Areas where this zone is used can be especially effective next to structures where breezes over landscape plantings can cool structures and where plantings will suffer the least from wind and hot sun. Plant materials in this zone will have moderate and occasionally high irrigation requirements.

This zone will be used in the tot lot area and interior common spaces having high activities and designed to encourage residents to maximize the use of such areas.

Planting in this zone will be those that provide enhanced landscape and year-round interest within the project. Landscape beds in the Developed/formal Landscape consist primarily of annual and perennial flowers with dispersed ground covers, shrubs, perennials, and trees.

This objective in this zone is to provide an attractive landscape, green areas and climate control.

### **Transitional Landscape Zone - Perimeter Common Spaces & Drainage areas.**

The transitional landscape will occur in areas of low activities such as within Drainage areas and low activity common areas.

The Transitional Landscape will be used as background plantings which are hardy, practical and

functional.

This objective in this zone is to provide low maintenance areas, slope stabilization and climate control.

Revegetation using approved revegetation seed blend mix within this zone will be provided as natural vegetation cover and slope stabilization. A temporary irrigation system will be installed to initiate growth for two growing seasons. At the end of this period the temporary irrigation will be removed, if the site is revegetated to the acceptance of the city of Reno staff. If not, remedial actions including extending the period of irrigation may be required.

The Owner/Developer shall deposit with the City of Reno a revegetation bond or letter of credit in the amount determined by the applicant and approved by the City to assure that the revegetation will be permanently established.

## **Project Entry**

The project entry will welcome residents and guests with attractive signage, plantings and lighting. The landscape design will provide a dramatic entry statement and express the overall image of the project and shall be consistent with the Landscape Site Plan submitted with the Tentative Map application.

## **Landscape**

The landscape at the entry will feature the Developed/formal Landscape Zone type plants. The project entry landscape will be maintained by the Owner's Association.

The landscape and project signage at intersections will comply with the visibility triangles requirements per City of Reno Code.

## **Common Area**

The interior common area landscape within Villagio della Montagna will be from the developed/formal landscape plant palette and shall be consistent with the Landscape Site Plan submitted with the Tentative Map application. Turf areas will be provided as lush green space for the enjoyment of the residents and guest of Villagio della Montagna. The perimeter and drainage common areas will be from the transitional landscape palette with low maintenance requirements and background plantings. Trees within the common area will provide year-round interest and ample shade during the warm summer season.

### **Common Landscape Area Standards:**

- Landscape Area: A minimum of 20% of the total project area shall be provided as common landscape area.
- Trees: A minimum of one tree per 300 square feet of required common area landscape shall be provided. A minimum of 40% of the required trees shall be evergreen to provide year-round interest to the landscape.  
Tree Size requirement:  
Deciduous Trees: 75% shall be 2.5" caliper and 25% at 1" caliper size.  
Evergreen Trees: 70% shall be 10' minimum height and 30% at 6' minimum height.

- **Turf Area:** A maximum of 40% of the provided landscape may be provided as turf area. The common area turf area may include lot front yard turf adjacent to common turf areas.

- **Shrub Plantings:** A mix of evergreen and deciduous shrubs shall be provided for year-round interest. A minimum of 50% of the shrubs shall be evergreen.

Shrub size requirements: 50% of shrubs at 1 gallon size and 50% at 5 gallon size shall be provided. 6 shrubs per required tree shall be provided.

## **Streetscape**

### **Streetscape Landscape Area Standards:**

- **Street Trees:** A minimum of one 2" minimum caliper tree per 25 linear feet of street frontage on Piazza del Villagio. Tree planting shall be in the landscape medians and adjoining common areas as indicated on the landscape plan. Street trees shall be selected from the City of Reno approved Street Tree species lists. Street trees will be counted as part of the total common area tree requirements.

- **Shrub Plantings:** Shrub planting pockets will be used to provide color and interest along the streetscape. A mix of evergreen and deciduous shrubs shall be provided for year-round interest. A minimum of 50% of the shrubs shall be evergreen. 50% of shrubs at 1 gallon size and 50% at 5 gallon size shall be provided. 6 shrubs per required tree shall be provided.

## **Landscape Plant Palettes:**

### **Developed/Ornamental Plant Palette**

Plant materials from the Developed/ formal Plant Palette are selected for year-round interest, color, form, and texture. These plants are to be used where lush and colorful landscape interest is to be provided in high activity areas such as major entry, and residential front yards to provide project identity. Plants with seasonal color and texture interest is favored for year-round changes.

#### **Large Deciduous Trees**

*Acer platanoides* sp./ Norway Maple  
*Acer rubrum* sp./ Red Maple  
*Fraxinus* sp./Autumn Purple Ash  
*Platanoides acerifolia*/ London Plane Tree  
*Quercus palustris*/Pin Oak  
*Robina ambigua* 'Idahoensis'/ Idaho Locust  
*Sorbus aucuparia*/European Mtn. Ash  
*Tilia cordata*/Littleleaf Linden

#### **Small Deciduous Trees**

*Malus* / Flowering Crabapple  
*Prunus sargentii*/ Flowering Cherry  
*Pyrus calleryana* sp./ Flowering Pear

#### **Evergreen Trees**

*Cedrus atlantica*/Atlas Cedar  
*Picea pungens* 'glauca'/ Colorado Blue Spruce  
*Pinus* sp./ Pine  
*Sequoiadendron giganteum*/Giant Sequoia  
*Thuja* Sp / emerald green arborvitae

#### **Deciduous Shrubs**

*Berberis* sp./ Barberry  
*Buddleia davidii*/ Butterfly Bush  
*Cornus stolonifera* sp./ Redtwig Dogwood  
*Euonymus alatus* 'Compacta'/Dwarf Winged Burning Bush  
*Hibiscus syriacus*/ Rose of Sharon  
*Ligustrum* sp./ Privet  
*Potentilla* sp./ Cinquefoil  
*Prunus besseyi*/ Sand Cherry  
*Rosa* sp./ Roses  
*Spiraea* sp./ Spirea  
*Viburnum* sp./ Viburnum

### **Evergreen Shrubs**

Cotoneaster sp./ Cotoneaster  
Cytissus scoparius 'Moonlight'/Broom  
Euonymus grandifolius/Big Leaf Euonymus  
Genista sp./ Dwarf Broom  
Juniperus sp./ Juniper  
Mahonia aquifolium/ Oregon Grape  
Photinia fraseri/ Photinia  
Pinus mugo/ Mugho Pine  
Thuja occidentalis sp./ Arborvitae  
Buxus sp. / winter gem boxwood

### **Groundcover/Vines**

Ajuga reptans/ Ajuga  
Clematis sp./ Clematis  
Cotoneaster sp./ Cotoneaster  
Juniperus sp./ Juniperus  
Lonicera japonica/ Honeysuckle  
Parthenocissus quinquefolia/ Virginia Creeper  
Polygonum aubertii/ Silver Lace Vine  
Vinca major/ Periwinkle  
Vinca minor/ Dwarf Periwinkle  
Wisteria chinensis/ Chinese Wisteria

### **Perennials**

Any perennials that are hard to Sunset Zone 3 are approved for use in the Developed/Ornamental Plant Palette.

### **Turf/ Ornamental Grass**

Calamagrostis x acutiflora/ Feather Reed Grass  
Festuca arundinaceous/ Tall Fescue  
Festuca glauca/ Blue Fescue  
Helictotrichon sempervirens/ Blue Oat Grass  
Poa pratensis/ Kentucky Bluegrass

### **Transitional Plant Palette**

Plant materials from the Transitional Plant Palette are selected to be used at the perimeter common areas between the developed areas and the adjacent undeveloped areas. These plants are to be used as background plantings, and buffering of the project.

**Large Deciduous Trees**

*Acer rubrum* sp./ Red Maple

*Celtis*/Common Hackberry

*Gleditsia triacanthos inermis*/ Thornless Honeylocust

*Robinia pseudoacacia* 'Purple Robe'/ Purple Robe Locust

**Small Deciduous Trees**

*Acer ginnala*/ Amur Maple

*Crataegus* sp./Hawthorn

*Eleagnus angustifolia*/ Russian Olive

*Koelreuteria paniculata*/ Golden Rain Tree

*Robinia ambigua* 'idahoensis'/ Idaho Locust

**Evergreen Trees**

*Cedrus deodora*/Deodar Cedar

*Chamaecyparis lawsoniana*/ Lawson Cypress

*Cupressus glabra*/Arizona Cypress

*Juniperus Utahensis*/ Utah Juniper

*Pinus* sp./ Pine

**Deciduous Shrubs**

*Berberis* sp./ Barberry

*Caragana* sp./ Siberian Peashrub

*Cotinus coggygria*/ Smoke Tree

*Cotoneaster acutitolius*/ Peking Cotoneaster

*Cotoneaster divaricatus*/ Spreading Cotoneaster

*Perovskia atriplicifolia*/ Russian Sage

*Potentilla fruticosa*/ Cinquefoil

*Rhus* sp./ Sumac

*Rosa rugosa*/ Copper Rose

*Rosa woodsii*/ Woods Rose

**Evergreen Shrubs**

*Cytissus* sp./ Broom

*Juniperus* sp./ Juniper

*Pinus mugo*/ Mugho Pine

**Groundcover/Vines**

*Juniperus* sp./ Juniper

*Parthenocissus quinquefolia*/ Virginia Creeper

*Santolina* sp./ Lavender Cotton

**Perennials**

Any perennials that are hard to Sunset Zone 3 are approved for use in the Transitional Plant

Palette.

**Turf/ Ornamental Grass**

*Calamagrostis x acutiflora*/ Feather Reed Grass

*Festuca arundinaceus*/ Tall Fescue

*Festuca glauca*/ Blue Fescue

*Helictotrichon sempervirens*/ Blue Oat Grass

*Poa pratensis*/ Kentucky Bluegrass

*Miscanthus sinensis* 'Gracillimus'/ Maiden Grass

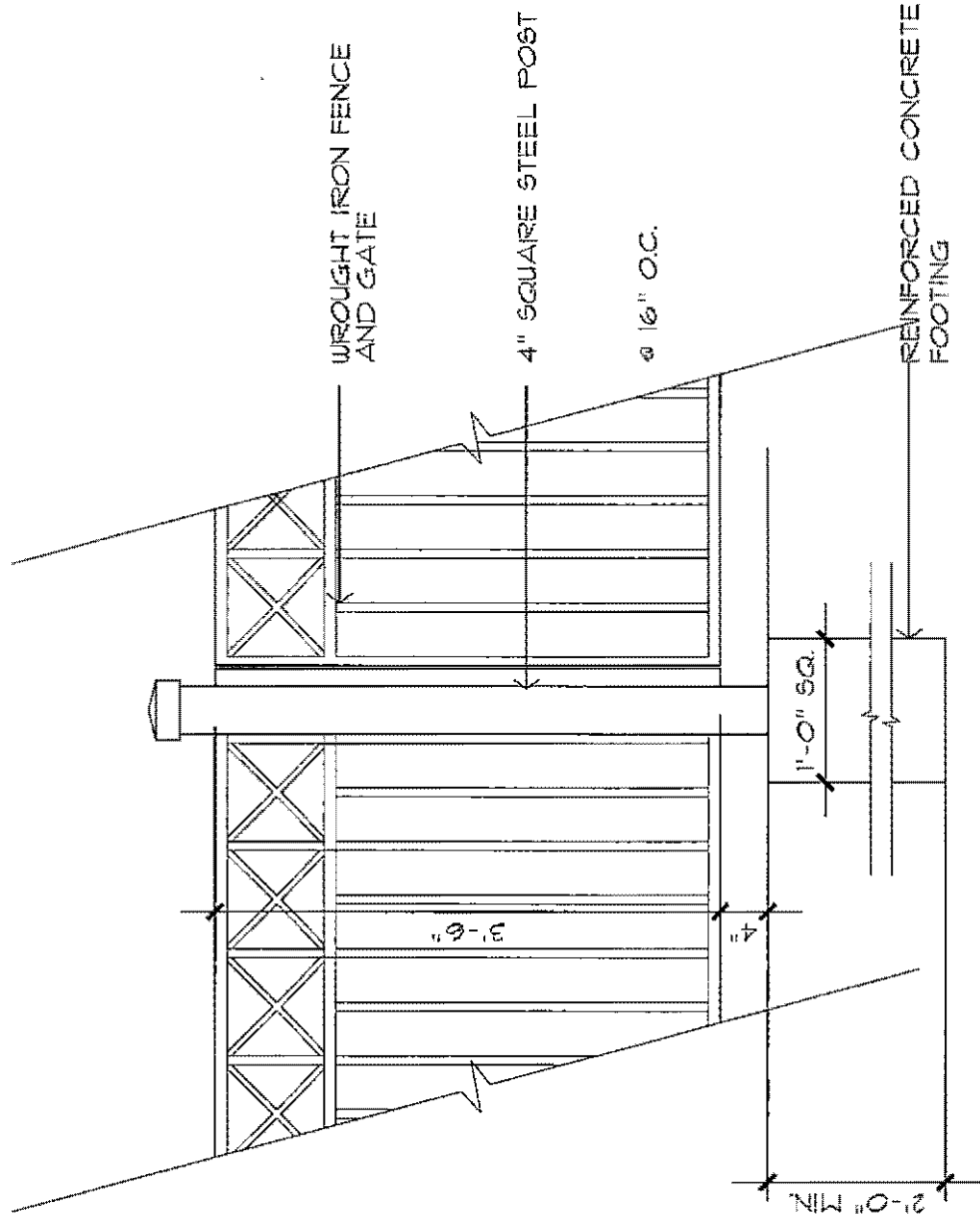
*Panicum virgatum*/ Switch Grass

*Pennisetum alopecuroides* sp./ Fountain Grass

*Poa pratensis*/ Kentucky Bluegrass



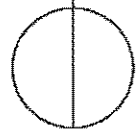
**EXHIBIT F**

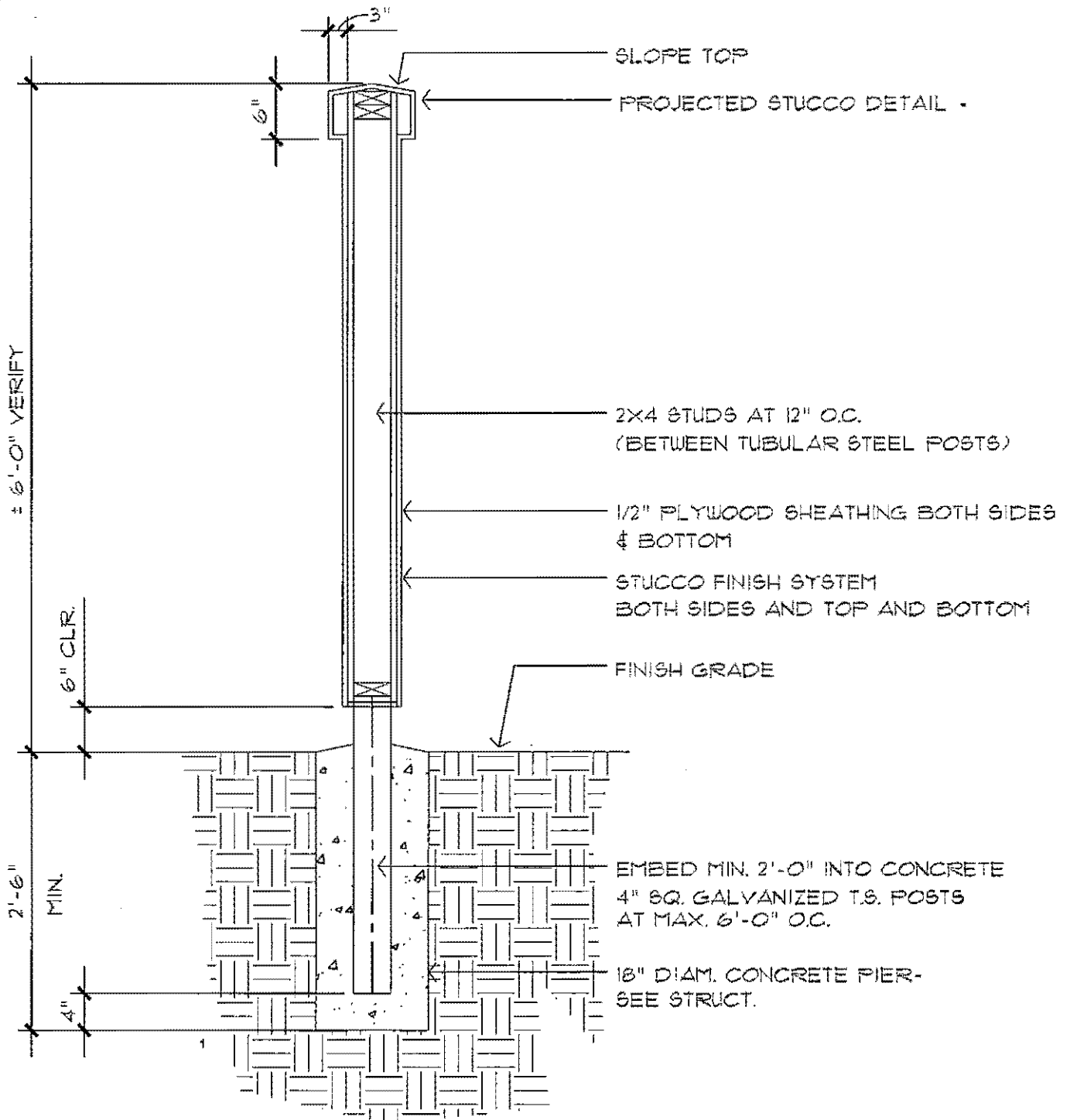


# WROUGHT IRON FENCE DETAIL

SCALE: 3/4" = 1'-0"

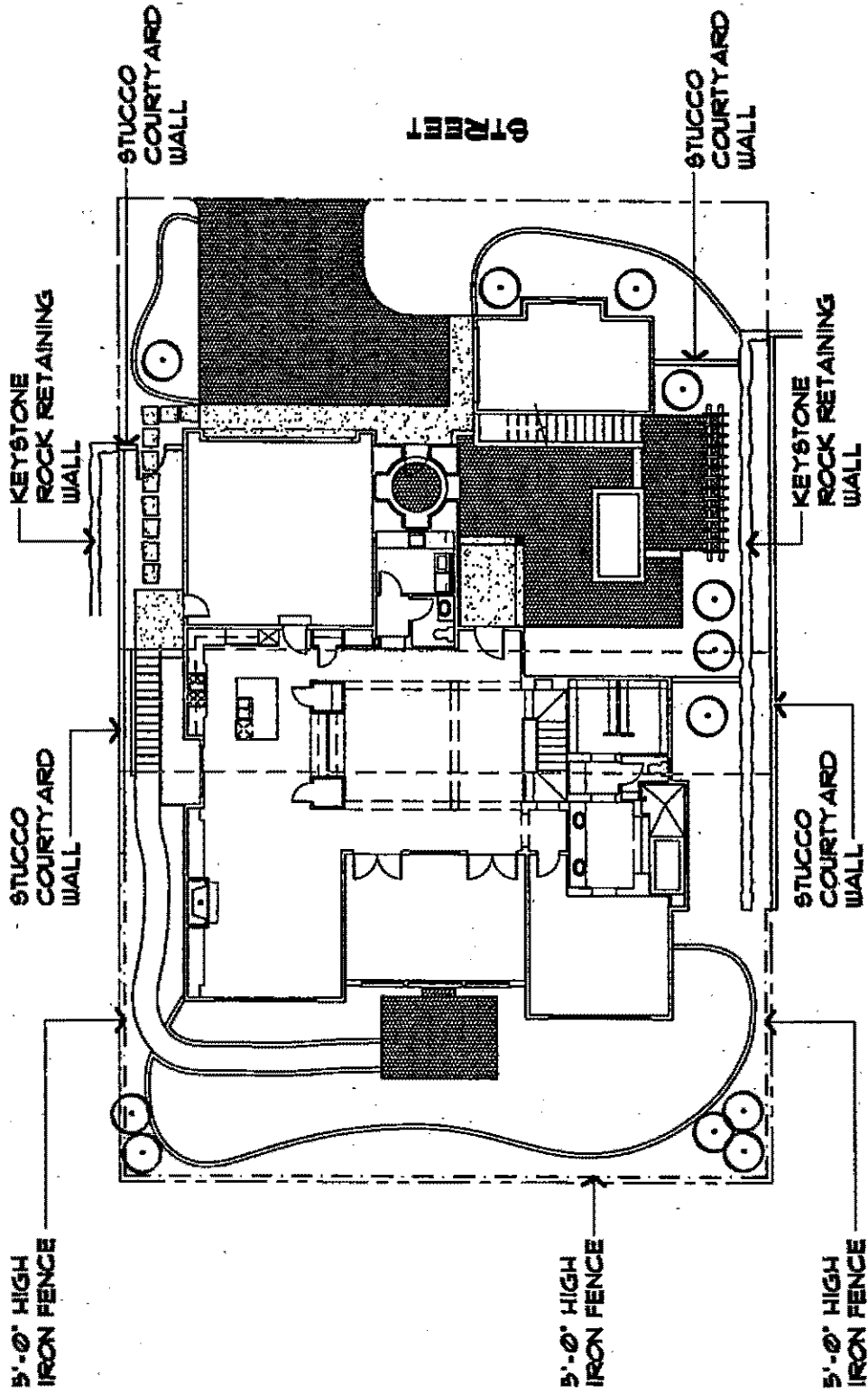
STDST19





# STUCCO WALL DETAIL

SCALE 3/4" = 1'-0"



**TYPICAL FENCE & COURTYARD WALL LAYOUT**

SCALE: 1"=20'-0"

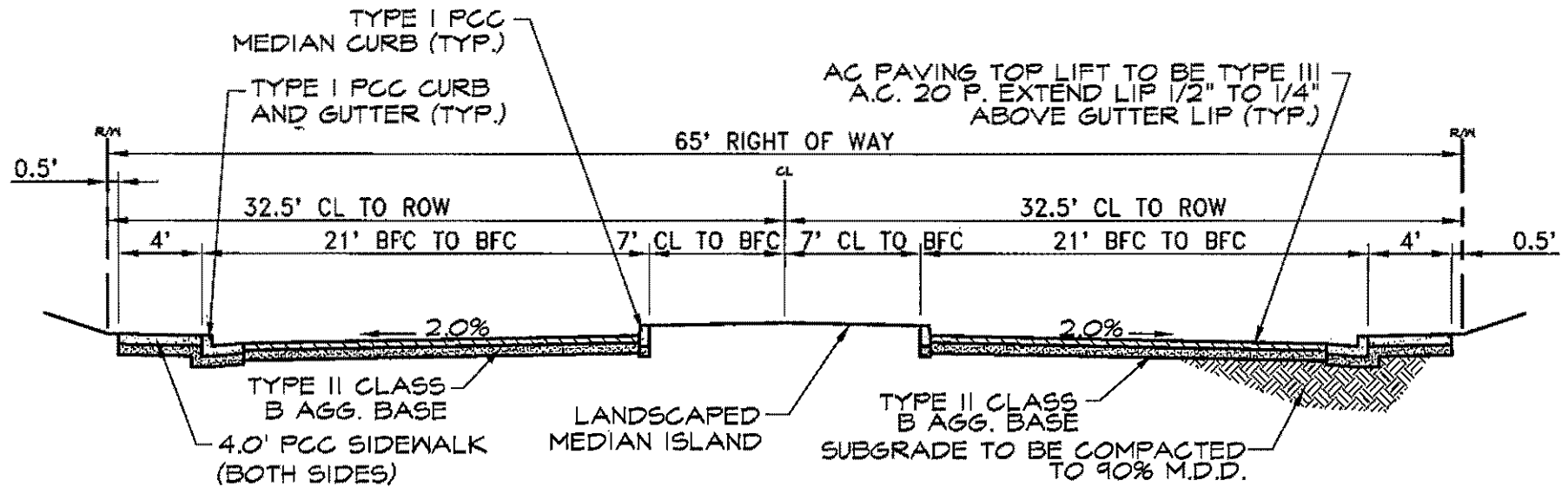
**EXHIBIT G**

# VILLAGGIO DELLA MONTAGNA

RENO

NEVADA

JUNE, 2004



PIAZZA DEL VILLAGGIO (PRIVATE)  
65.00' RIGHT OF WAY STREET SECTION

NOT TO SCALE



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING

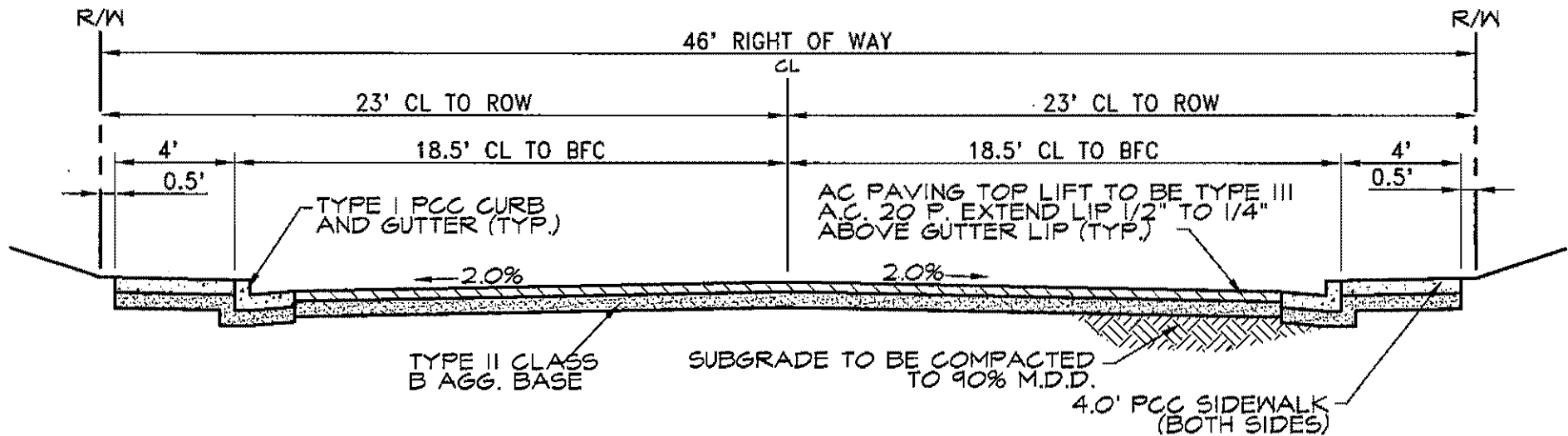
6774 South McCarran Blvd. Tel 775.823.4068  
Reno, NV. 89509 Fax 775.823.4066

# VILLAGIO DELLA MONTAGNA

RENO

NEVADA

JUNE, 2004



VISTA DELLA MONTAGNA (PRIVATE)  
46.00' RIGHT OF WAY STREET SECTION

NOT TO SCALE



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING

6774 South McCarran Blvd. Tel 775.823.4068  
Reno, NV. 89509 Fax 775.823.4066

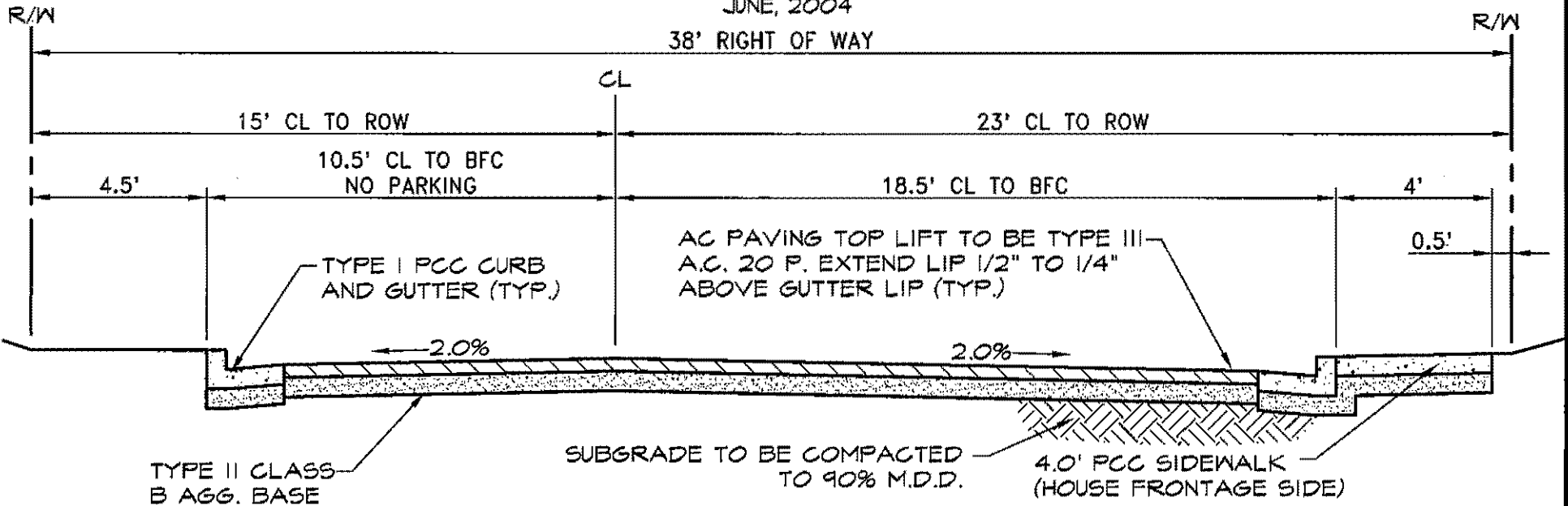
# VILLAGGIO DELLA MONTAGNA

RENO

NEVADA

JUNE, 2004

38' RIGHT OF WAY



VISTA D'OCCHIO, VISTA DELLA VALLE,  
VISTA DELLA CITT'A & VISTA DELLA LUCI  
(PRIVATE)

38.00' RIGHT OF WAY STREET SECTION

NOT TO SCALE



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING

6774 South McCarran Blvd. Tel 775.823.4068  
Reno, NV. 89509 Fax 775.823.4066



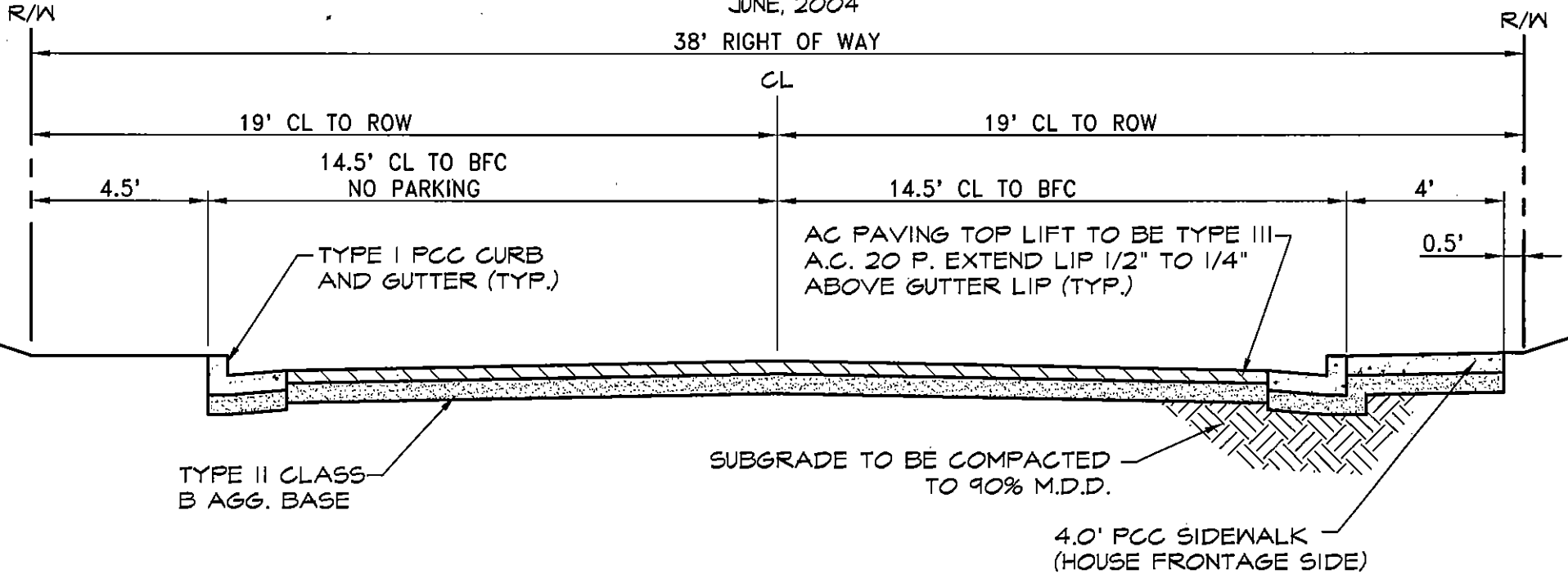
# VILLAGIO DELLA MONTAGNA

RENO

NEVADA

JUNE, 2004

38' RIGHT OF WAY



RIDGEVIEW DRIVE (PUBLIC)  
38.00' RIGHT OF WAY STREET SECTION

NOT TO SCALE



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING  
6774 South McCarran Blvd. Tel 775.823.4068  
Reno, NV. 89509 Fax 775.823.4066

**EXHIBIT I**

# PHASING MAP VILLAGGIO DELLA MONTAGNA

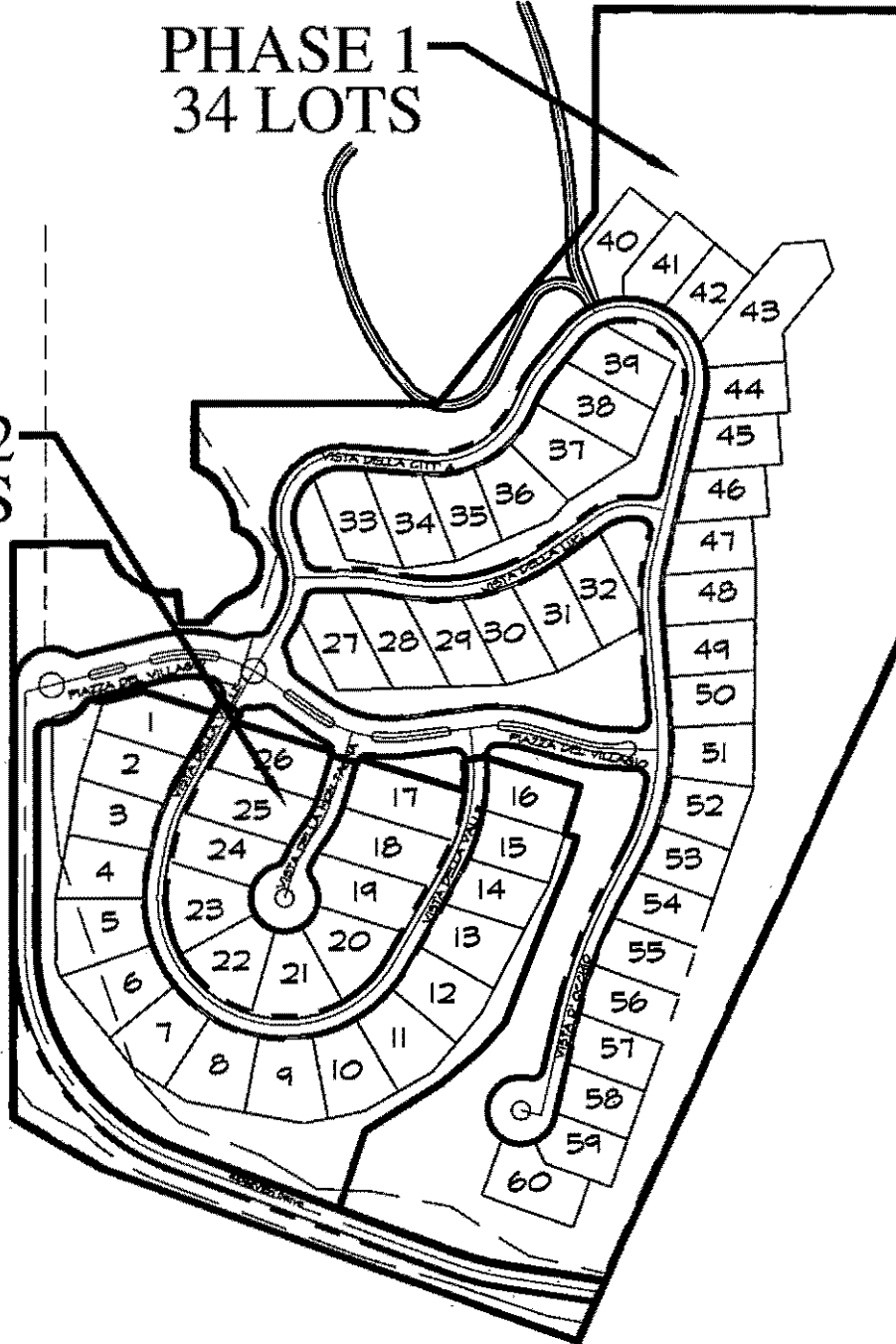
RENO

NEVADA

JUNE, 2004

PHASE 1  
34 LOTS

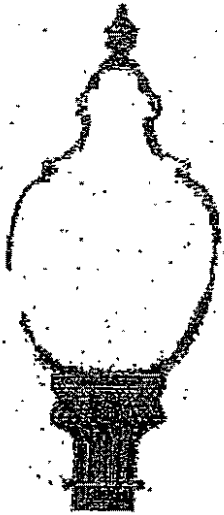
PHASE 2  
26 LOTS



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING

6774 South McCarran Blvd. Tel 775.823.4068  
Reno, NV. 89509 Fax 775.823.4066

**EXHIBIT I**



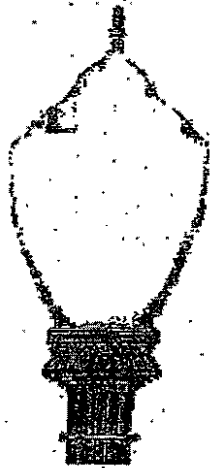
**ODL85U: Acorn Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL89U Decorative Poles (selected by stock numbers)
- ODL95U - 20' Round - Shaft Embedded Concrete Pole.

*Note: Add tenon adapter 28-0746 for this application*

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0488	1.0	Luminaire Decorative Acorn Style



**ODL86U: Nostalgia Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL89U Decorative Poles (selected by stock numbers)
- ODL95U - 20' Round Shaft Embedded Concrete Pole

*Note: Add tenon adapter 28-0746 for this application*

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0490	1.0	Luminaire Decorative Nostalgia Style



**ODL96U: Colonial Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL95U 20' Round Embedded Concrete Pole

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0485	1.0	Luminaire Decorative Colonial Style

**Sierra Pacific**  
POWER COMPANY

ENGINEERING & CONSTRUCTION STANDARD

SHEET 1 OF 2

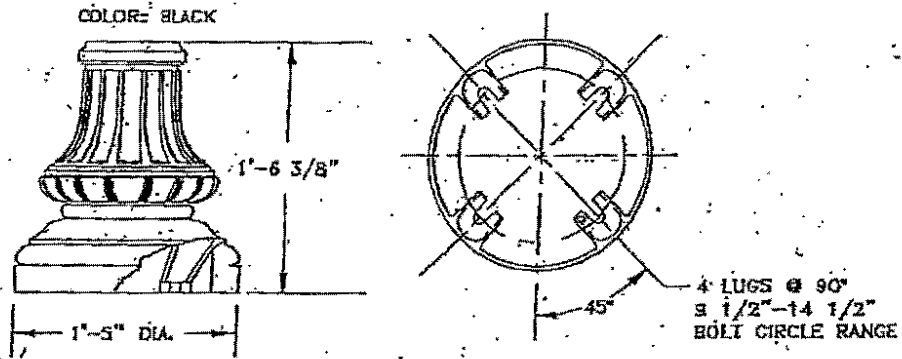
VOLUME 5

**OUTDOOR DECORATIVE  
LIGHTING**

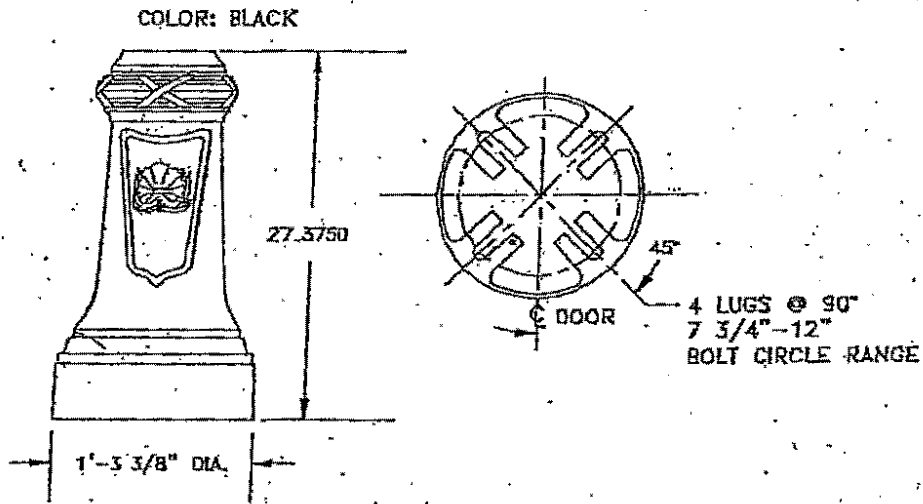
DRAWING NUMBER  
ODL85U ODL86U  
ODL96U ODL98U  
ODL99U

RAWN	DESIGN	SUPR.	DATE	REV
JV	JV	CR	8/01	2

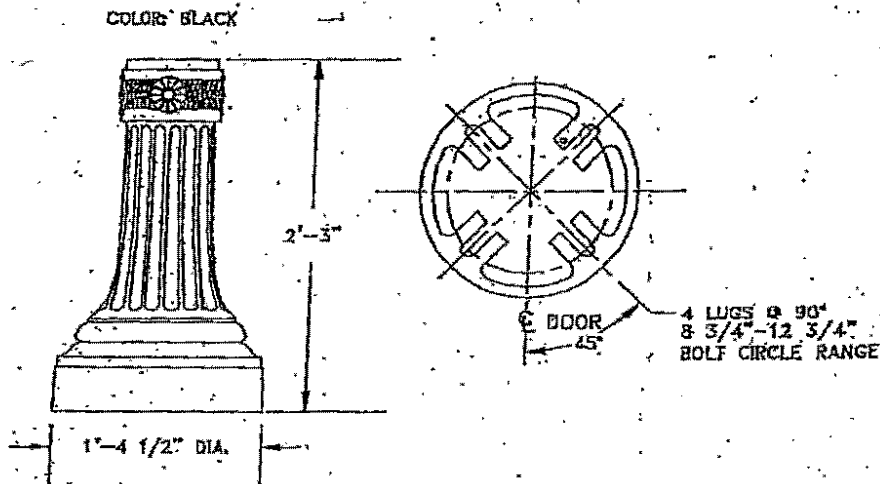
**STOCK NO. 28-0130**



**STOCK NO. 28-0132**



**STOCK NO. 28-0134**



ENGINEERING & CONSTRUCTION STANDARD

SHEET 2 OF 2

DECORATIVE STEEL  
POLES & BASES

DRAWING NUMBER

ODE89U

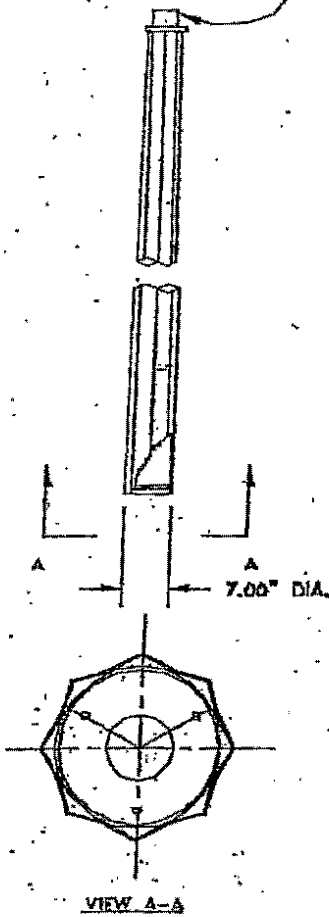
AWN	DESIGN	SUPR	DATE	REV
ED	IV	KT	11/88	

**STOCK NO. 28-1104**

SHAFT LENGTH	TOP O.D.
12'-6"	5.25"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON

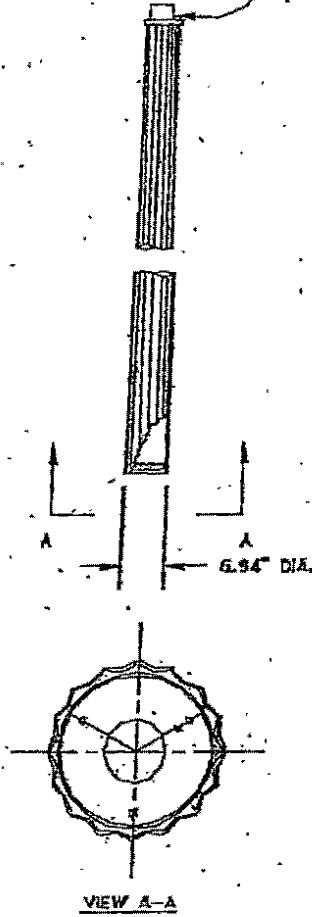


**STOCK NO. 28-1106**

SHAFT LENGTH	TOP O.D.
12'-6"	5.19"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON

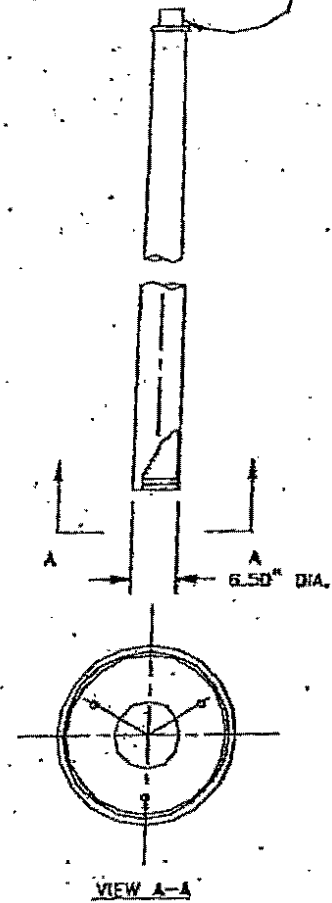


**STOCK NO. 28-1108**

SHAFT LENGTH	TOP O.D.
12'-6"	4.79"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON



**NOTES:**

1. ODL89U generates all labor and miscellaneous items for decorative pole & base. Call for one for each light.
2. Pole and base to be added to STAK by stock#.
3. SLB02U generates value of bolted base for tax liability. Call for one for each light.
4. These poles & bases to be used with: ODL85U, ODL86U, ODL91U, ODL95U.

**Sierra Pacific**  
POWER COMPANY

ENGINEERING & CONSTRUCTION STANDARD

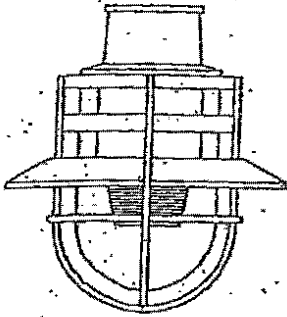
SHEET 1 OF 2

**DECORATIVE STEEL  
POLES & BASES**

DRAWING NUMBER

**ODL89U**

DRAWN	DESIGN	SUPR	DATE	REV.
GD	JV	KT	11/98	



**ODL98U: 150 HPS 120V Ranch Fixture**

STOCK #	QTY.	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
<del>28-0386</del> 28-0388	1.0	Lamp 150W Sodium Vapor 16000 Lumens (12 per case)
28-0480	1.0	Luminaire Decorative Ranch Style with Arm 150 Watt HPS 120V



**ODL97U: 20' Square Embedded Shaft Pole**

STOCK #	QTY	DESCRIPTION
28-0750	1.0	Pole Concrete Street Light Embedded Square Shaft 20'-3" Long
17-0170	40.0	Wire #10 19 STR COP THIN 600V Black
17-0180	40.0	Wire #10 19 STR COP THIN 600V White
28-1160	1.0	Tube Fiber 16" Dia. X 5 Ft. (for use with Street Lights)



ENGINEERING & CONSTRUCTION STANDARD

SHEET 1 OF 1

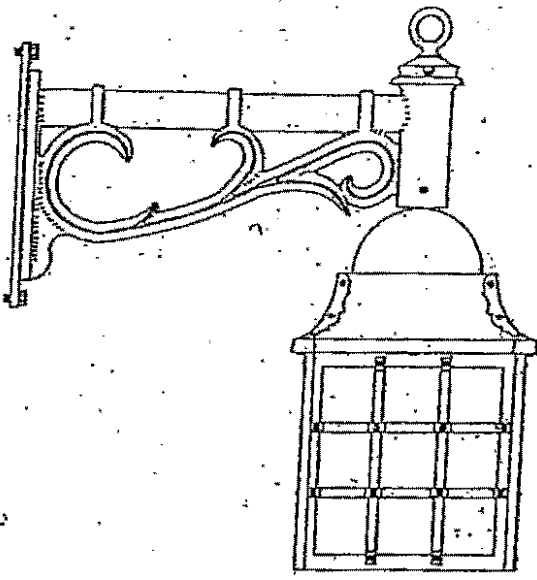
AWN	DESIGN	SUPR	DATE	REV
D	DC	KT	398	

DECORTATIVE  
RANCH LUMINAIRE

DRAWING NUMBER

**DSL0006**

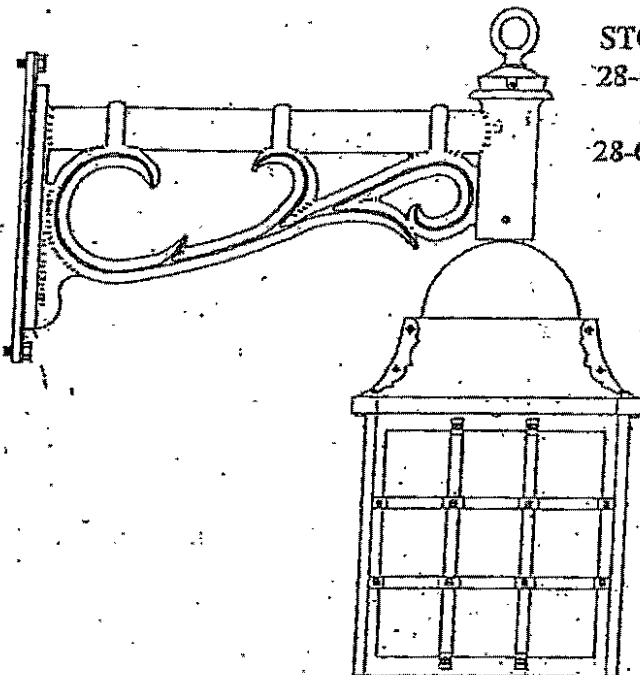




**ODL84U: 100W HPS 120V Lantern Fixture**

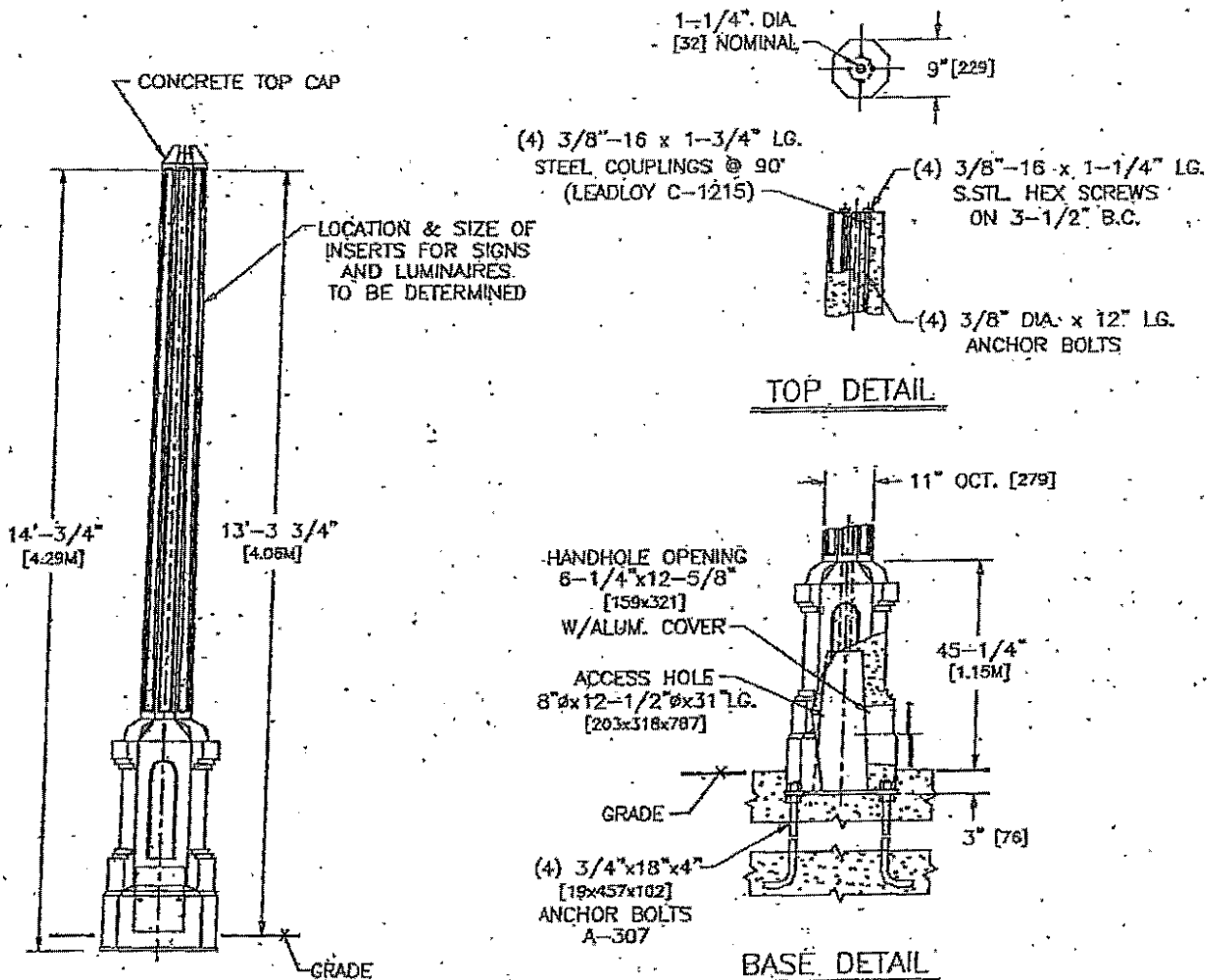
STOCK #	QTY	DESCRIPTION
28-0380	1.0	Lamp 100W HPS Medium Base
28-0495	1.0	Luminaire Decorative Lantern Style Single Side Mount 100W HPS

**ODL82U: 150W HPS 120V Lantern Fixture**



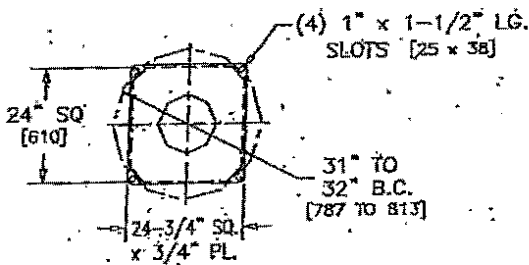
STOCK #	QTY	DESCRIPTION
28-0386	1.0	Lamp 150W Sodium Vapor 16000 Lumens (12 per case)
28-0492	1.0	Luminaire Decorative Lantern Style Single Side Mount 150W HPS

# ODL80U: 14' Monterrey Bolted Base Pole

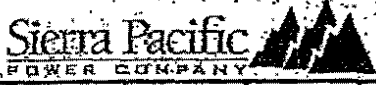


**NOTES:**

CONCRETE TO BE 6,000 PSI COMPRESSION MINIMUM IN 28 DAYS.  
 MANUFACTURED TO ASTM C 1089-88.  
 PRESTRESSED WITH (8) 5/16" DIA. [8] A-416 WIRES.  
 DIMS IN BRACKETS ARE MILLIMETERS UNLESS NOTED OTHERWISE.



STOCK #	QTY	DESCRIPTION
28-0785	1.0	Pole Concrete Street Light Bolted Base 14 Ft. Monterrey Style
17-0170	40.0	Wire #10 19 STR COP THHN 600V Black
17-0180	40.0	Wire #10 19 STR COP THHN 600V White
28-0240	1.0	Control Photo Electronic Multi-Volt Blue



ENGINEERING & CONSTRUCTION STANDARD

SHEET 2 OF 2

DECORATIVE LANTERN LUMINAIRE

DRAWING NUMBER

DSL0007

RAWN	DESIGN	SUPR.	DATE	REV.
GD	DC	KT	3/88	

# TRENCH EXCAVATION STANDARDS

## 1.0 SCOPE

These standards provide trench configurations and general requirements and guidelines for trenching and excavation for pipe, conduit, box, and vault installations within SPPCo.'s service territory.

## 2.0 INDEX

- 1.0 SCOPE
- 2.0 INDEX
- 3.0 GENERAL
- 4.0 TRENCHING GUIDELINES
- 5.0 SAFETY
- 6.0 BOX / VAULT / JUNCTION ENCLOSURE INSTALLATION
- 7.0 PAD INSTALLATION
- 8.0 STREET LIGHT INSTALLATION

## 3.0 GENERAL

All applicable city, county, state, and federal specifications must be met in addition to the requirements of this standard. In the case of conflict, the more rigid specification or standard shall apply.

## 4.0 TRENCHING GUIDELINES


### 4.1 Trenching Configurations

Trench configuration drawings attached as part of this standard are the typical configurations used by SPPCo. In cases where a typical configuration does not apply, a trench section drawing shall be provided to the contractor or customer showing necessary dimensions and details. The following general rules apply to all trenches:

4.1.1 Backfill: The top 12 inches minimum of all trenches in streets, highways, or other paved areas shall be back-filled with crushed gravel compacted to 95% maximum density in accordance with SPPCo. Specification SUB01X, Section 5.4.1.

4.1.2 Bedding: Compacted sand bedding shall be placed a minimum of 12 inches above and 6 inches below all pipes and conduits.

REVISION: Paragraph 6.5, Added Section 8.0.

					ENGINEERING & CONSTRUCTION STANDARD		SHEET 1 OF 6	
					TRENCH EXCAVATION STANDARDS		VOLUME 17	
							DRAWING NUMBER TE0001U	
DRAWN	DESIGN	SUPR	DATE	REV				
GD	JF	HM	12/99	3				

### 7.3 Installation

Transformer and switch pads shall be installed using equipment with adequate load capacity to safely handle the components. All pads and enclosures shall be set level, squarely aligned with the base at existing or proposed finish grade.

### 7.4 Bedding and Backfill

Pads shall be bedded with 8" - 12" type II subbase, (depths as indicated on standard drwgs.), at 95% compaction and the surrounding excavation backfilled, in accordance with SPPCo. Specification SUB01X.

## 8.0 STREETLIGHT INSTALLATION

### 8.1 Excavation

Excavation for streetlights shall be performed by the contractor or customer concurrent with adjacent trench excavation, unless otherwise directed by the SPPCo. Engineer or Inspector. Size, depth, and alignment of the excavation shall be shown on standard drawings. See SLB02U, SLB12U, or for imbedded poles, see sono tube specification shown on the work order drawing.

Note: Sono tube may be substituted with PVC water or sewer pipe.

### 8.2 Dewatering

Where ground water is encountered during excavation, it shall be the responsibility of the contractor or customer to adequately dewater the excavation to provide for safe and convenient installation of the streetlight substructure, sono tube, or pre-casted base.

### 8.3 Installation

Precast streetlight bases shall be installed using equipment with adequate load capacity to safely handle the components. All bases shall be set 6" above proposed finish grade with bolt pattern aligned for proper arm direction as shown on work order drawings, typically 90 degrees off curb line.

### 8.4 Bedding and Backfill

Streetlights, sono tubes and precasted bases shall be bedded with type 2 subbase for the full depth of component at 90% compaction surrounding the component at a 2' radius in accordance with SPPCo. Specification SUB01X.



ENGINEERING & CONSTRUCTION STANDARD

SHEET 6 OF 6

TRENCH EXCAVATION  
STANDARDS

VOLUME 17

DRAWING NUMBER

TE0001U

DRAWN	DESIGN	SUPR.	DATE	REV.
GD	JR	HM	12/99	3

# 12' POLARS: OFF-SITE SPACING

STREET CLASSIFICATION	ST. TYPE & ROW WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE III	TYPE V	TYPE III	TYPE V	
COLLECTOR	66'	B	12'	115'	125'	.31	.28	.69
	62'	B	12'	115'	125'	.33	.30	.69
	60'	B	12'	120'	125'	.35	.31	.69
RESIDENTIAL	58'	B	12'	120'	125'	.35	.34	.69
	50'	B	12'	125'	125'	.38	.38	.69
	42'	B	12'	140'	130'	.43	.42	.69
PEDESTALIAN LANE	40'	B	12'	130'	135'	.48	.42	.69
	34'	B	12'	130'	135'	.54	.46	.69
PEDESTALIAN LANE		B	12'	115'	115'	.84	.73	.69

# 14 POLLED: ST JGER SPACING

STREET CLASSIFICATION	ST. TYPE & ROW WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE II	TYPE V	TYPE III	TYPE V	
COLLECTOR	66'	B	12'	85'	85'	.27	.21	.69
	62'	B	12'	75'	90'	.25	.21	.69
	60'	B	12'	80'	90'	.25	.22	.69
	56'	B	12'	85'	95'	.25	.22	.69
RESIDENTIAL	50'	B	12'	95'	100'	.25	.24	.69
	42'	B	12'	100'	100'	.28	.28	.69
	40'	B	12'	100'	105'	.39	.27	.69
PEDESTRIAN LANE	34'	B	12'	110'	105'	.32	.30	.69
	—	B	12'	105'	85'	.42	.45	.69

Department of  
**PUBLICWORKS**



# 20' POLLED 8' CASTER SPACING

STREET CLASSIFICATION	ST. TYPE & R/W WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE III	TYPE V	TYPE III	TYPE V	
COLLECTOR	66	B	20'	115'	—	19	—	.69
	62	B	20'	115'	—	20	—	.69
	60	B	20'	120'	—	20	—	.69
RESIDENTIAL	56	B	20'	125'	—	20	—	.69
	50	B	20'	140'	—	19	—	.69
	42	B	20'	155'	—	19	—	.69
PEDESTRIAN LANE	40	B	20'	160'	—	19	—	.69
	34	B	20'	165'	—	20	—	.69
PEDESTRIAN LANE	—	B	20'	120'	—	41	—	.69

Design provided by  
**PURVISWORKS**

**EXHIBIT J**



Lynnette R. Jones  
City Clerk  
(775) 334-2030  
jonesl@ci.reno.nv.us

Carmi D. Gundersen  
Chief Deputy City Clerk  
(775) 334-2030  
gundersen@ci.reno.nv.us



Office of the City Clerk  
Central Cashiering (775)334-2032  
Parking Tickets (775)334-2279

Steven D. Whitaker, CRM  
Records Systems Manager  
(775) 326-6633

October 19, 2004

FILED THIS DATE  
10 1 20 04  
BY: [Signature]  
CITY CLERK

Samuel Jaksick  
4005 Quail Rock Ln.  
Reno, NV 89511

RE: Case No. LDC04-00547 (Villagio Della Montagna)

Dear Applicant:

At a regular meeting held October 13, 2004, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved the request for the following:

- (1) A zoning map amendment from SF15 (Single Family Residential - 15,000 feet) to SPD (Specific Plan District) on ±44.24 acres, subject to condition A;

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

A. Zoning Map Amendment:

Approval of the final SPD Development Standards Handbook is subject to the revisions in Exhibit A and any modifications made by the Planning Commission and City Council at their respective public hearings. All revisions shall be incorporated into the Development Standards Handbook and submitted electronically and hardcopy to staff for review within two (2) months of the date of City Council approval. The SPD ordinance shall be approved by the City Council within three (3) months of the date of the City Council's approval. Failure by the applicant to conform with either time deadline shall render this approval null and void.

- (2) A tentative map to develop a 60 lot single family residential subdivision, subject to the following conditions; and
- (3) Special use permits to allow for: (a) a hillside development; (b) fills of 10 feet or more; (c) private streets; and (d) grading disturbance within a natural major drainageway on a ±67.64 acre site located directly north and west of the current west terminus of Ridgeview Drive, subject to the following conditions:

Tentative Map and Special Use Permits:

1. The project shall comply with all applicable City codes, plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports, materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. The applicant shall record the final maps in accordance with the time limit contained in state law or this approval shall be null and void. The applicant not record more than 3 final maps with a minimum of 15 lots per final map phase.
3. Prior to approval of a final map containing Lots 6-10, 40-47, 59 and 60, the applicant shall have plans approved to modify the rockery walls proposed adjacent to these lots as described in the Grading section of the September 15, 2004 Planning Commission report for LDC04-00547 (Villagio Della Montagna) as attached to this letter.
4. Prior to approval of a final map containing the two detention ponds located north and south of the Piazza Del Villagio/Vista D'Occhio intersection, the applicant shall have plans approved to reduce the 2:1 slopes to 3:1 or less and contour the shape to provide a more natural look. Landscape plans shall also be provided around these ponds to better blend the detention ponds into the adjacent lots/streetscape landscaping.
5. Prior to approval of each final map, the applicant shall have plans approved demonstrating that the edges of all created 1:1, 2:1, 3:1 slopes, etc. within the project will be rounded and feathered to properly transition into the native undisturbed slopes.
6. Prior to approval of a final map containing Lots 40-43, the applicant shall have plans approved demonstrating that siding and roofing colors for the houses will be dark earth tones and include rock facing and stucco treatments to blend these houses into the adjacent slopes. In addition, plans for at least 3, 14 foot tall evergreen trees per affected lot which are placed on the north side, between the

houses shall be provided. The roofing and siding colors; stucco/rock facing treatments and trees shall be provided on the building permit plans for these lots.

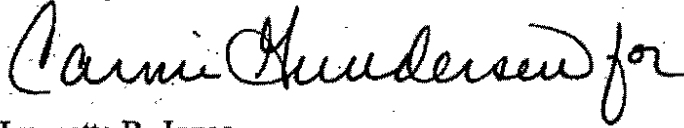
7. Prior to approval of a final map containing Lot 43, a deed restriction shall be provided to prohibit construction of any structures or improvements, with the exception of at grade paths and supplemental landscaping, north of the southeast projection of the north rockery wall shown on Lot 42. Said restriction shall be recorded concurrent with the final map.
8. Prior to approval of the first final map, the applicant shall place a note on the final map designating the north  $\pm 23.4$  acre parcel, which will be created from the original  $\pm 67.64$  acre parcel contained in the application, as subject to approval of a special use permit for a hillside development for any development on the parcel including one single family residence.
9. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titles "Inspection, Testing and Verification" and "Quality Assurance Program".
10. Site access location, design, traffic devices, and operational characteristics of related site access gates shall be to the approval of the Fire Department and the Community Development Department.
11. Prior to issuance of each house certificate of occupancy, the applicant shall verify that fire sprinklers have been installed unless a secondary means of access is provided to the satisfaction of Fire Department staff.
12. Prior to the approval of any related final map, the applicant shall provide any necessary on-site and off-site roadway easements and easements for access to sewer, storm drainage, and utility improvements and shall construct sewer, storm drainage and utility access improvements prior to the issuance of any certificate of occupancy.
13. Parcel map requests shall be submitted to the City with or in advance of the first final map application.
14. Prior to final map approval, an on-site lot grading plan shall be submitted to and approved by the Community Development Department and the Engineering Division. Said plan shall include detailed plans for grading and drainage on each lot and erosion control.

15. Prior to the approval of each final map, the applicant shall have an approved construction management and access plan.
16. Prior to the approval of each final map, the applicant shall have approved plans and bonding in place for any necessary off-site infrastructure improvements.
17. Prior to the approval of any related final map, the applicant shall grant easements for two points of vehicle access to the northerly boundary of the project and provide improvement plans for a water line stub and a sewer line stub.
18. Prior to approval of each final map containing rockery walls, the applicant shall have plans approved demonstrating that the voids within the rockery walls will be filled to minimize rodent nesting.
19. Prior to approval of each final map, the applicant shall have plans approved demonstrating that a low flow channel will be installed in any required detention ponds.
20. Prior to approval of the first final map, the applicant shall demonstrate that the homeowners' association will provide for maintenance of the project storm water detention basin(s) on a yearly basis by removing nuisance vegetation and debris within the bottom(s) by June of each year.
21. Prior to approval of each final map, the applicant shall have plans approved demonstrating that low impact rotary heads and/or compact heads wind sensor control will be provided, as appropriate, in all common areas.
22. The applicant shall work with the State Historic Preservation Office (SHPO) to determine if there are any significant cultural resources on site. A letter shall be submitted to Community Development staff by SHPO stating all their requirements are met prior to approval of any grading permit.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Samuel Jaksick  
Case No. LDC04-00547 (Villagio Della Montagna)  
October 19, 2004  
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Sincerely,



Lynnette R. Jones  
City Clerk

LRJ:cdg

xc: Development Services  
Traffic Design Engineer  
Jeff Mann, Parks, Recreation & Community Services  
Tonia Meyers, Development Services  
Reno Fire Department  
Julee Olander, Regional Transportation Commission  
State Historic Preservation Office  
Troy Means, Tnt Limited  
Scott Christy